

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

April 16, 2018

To: Hamilton County Drainage Board

Re: Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville - Cottage Grove, Sec. 2 Relocation

Attached are petition and plans for the proposed reconstruction of the Sly Run Drain, Bliss Johnson Arm. This project is to be paid for by CalAtlantic Homes of Indiana, Inc. The proposal is to reconstruct the existing tile drain currently on parcels, owned by CalAtlantic Homes of Indiana, Inc., per the Conner Crossing of Noblesville Cottage Grove, Sec. 2 project plans by Stoepelwerth & Associates, Job No. 75744CAL-S2, approval stamp date 5/3/2017. The existing tile is being relocated from parcels being developed as Conner Crossing of Noblesville - Brookstone, Sec. 2 and will be located in Conner Crossing of Noblesville - Cottage Grove, Sec. 2.

The current Bliss Johnson Drain was established by the Hamilton County Circuit Court per the viewers report dated July 27, 1940. In 2011, the drain was made an arm to the Sly Run Drain. See Drainage Board Minutes Book 13, pages 280-282.

Per the plans, the upstream end of this relocation will begin at a new manhole, Str. 871 on the north side of 191st in Albany Ridge at Conner Crossing, Sec. 1, Common Area #2 and drain south under 191st and through Cottage Grove, Sec. 2. The drain will connect to a manhole (Str. 800) installed with the Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville - Cottage Grove Phase 1 relocation.

This reconstruction will consist of the following:

219' of 36" RCP	744' of 48" RCP
329' of 42" RCP	458' of open drain (Lake 5 & 6)

The new drain involves the lengths of drain between the following structures: 871, 872, 808, 807, 806, 805, 804A, 804B, 804, 803, 802B, 800.

The open drain noted above is measured as a straight line between Strs. 872 – 808 (Lake #6) and Strs. 804 – 803 (Lake #5). The detention ponds (Lake #5 and #6) are not to be considered part of the regulated drain, but only for conveyance as open drain. This is consistent with the ponds in other Conner Crossing sections. The maintenance of the ponds shall include the inlet and outlet as part of the regulated drain. The maintenance of the ponds such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

The newly installed drain will have a length of 1750’.

This project will vacate 1171’ of existing Bliss Johnson drain between the following locations: Existing Sta. 20+76 and 32+47.

This proposal will add 579’ of footage to the drain’s total length.

The cost of the project is to be paid by the developer. The petitioner has submitted surety in the form of a Subdivision Performance Bond as follows:

Bonding Company: Liberty Mutual Insurance Company
Date: May 3, 2017
Expiration Date: N/A
Number: 30009196
For: Conner Crossing of Noblesville Cottage Grove, Phase 2 - Drain Reconstruction
Amount: \$233,234.64
HCDB-2017-00026

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The easement for the new drain will be as per the easements shown on the secondary plat for Conner Crossing of Noblesville - Cottage Grove, Sec. 2 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing date for May 29, 2018.

Sincerely,



Keriton C. Ward
Hamilton County Surveyor

KCW/stc

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN RE: Conner Crossing of Noblesville Cottage Grove,2)
Hamilton County, Indiana)

FILED
APR 27 2017

PETITION FOR RELOCATION AND RECONSTRUCTION

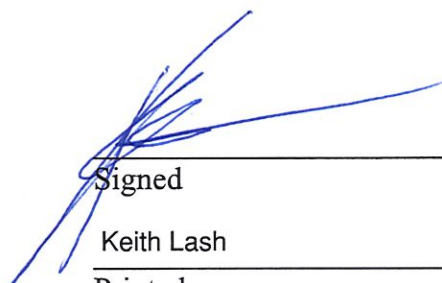
OFFICE OF HAMILTON COUNTY SURVEYOR

CalAtlantic Homes of Indiana, Inc. (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the Bliss Johnson Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the Bliss Johnson Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the Bliss Johnson Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the Bliss Johnson Drain, without cost to other property owners on the watershed of the Bliss Johnson Drain.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the Bliss Johnson Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.



Signed
Keith Lash

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FINDINGS AND ORDER

CONCERNING THE PARTIAL VACATION OF THE

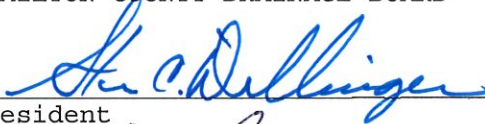
Sly Run Drain, Bliss Johnson Arm,
Conner Crossing of Noblesville - Cottage Grove, Section 2 Relocation

Station 20+76 to Station 32+74

On this 29th day of May, 2018, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville - Cottage Grove, Section 2 Relocation (Station 20+76 to Station 32+74).

Evidence has been heard. Objections were presented and considered. The Board then adopted an order of action. The Board now finds that the costs of continued maintenance to the portion of the above drain exceed the benefits to the real estate benefited by the portion of the drain to be abandoned and issues this order vacating the above section of the Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville - Cottage Grove, Section 2 Relocation (Station 20+76 to Station 32+74).

HAMILTON COUNTY DRAINAGE BOARD




President



Member



Member

Attest: 

STATE OF INDIANA)
) ss:
COUNTY OF HAMILTON)

BEFORE THE HAMILTON COUNTY
DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN THE MATTER OF THE
RECONSTRUCTION OF THE
**Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville -
Cottage Grove, Section 2 Relocation**

FINDINGS AND ORDER FOR RECONSTRUCTION

The matter of the proposed Reconstruction of the **Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville - Cottage Grove, Section 2 Relocation** came before the Hamilton County Drainage Board for hearing on **May 29, 2018**, on the Reconstruction Report consisting of the report and the Schedule of Damages and Assessments. The Board also received and considered the written objection of an owner of certain lands affected by the proposed Reconstruction, said owner being:

Evidence was heard on the Reconstruction Report and on the aforementioned objections.

The Board, having considered the evidence and objections, and, upon motion duly made, seconded and unanimously carried, did find and determine that the costs, damages and expenses of the proposed Reconstruction will be less than the benefits accruing to the owners of all land benefited by the Reconstruction.

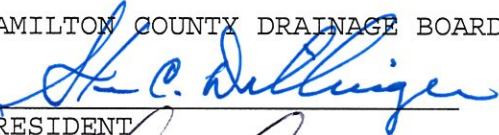
The Board having considered the evidence and objections, upon motion duly made, seconded and unanimously carried, did adopt the Schedule of Assessments as proposed, subject to amendment after inspection of the subject drain as it relates to the lands of any owners which may have been erroneously included or omitted from the Schedule of Assessments.


The Board further finds that it has jurisdiction of these proceedings and that all required notices have been duly given or published as required by law.

Wherefore, it is ORDERED, that the proposed Reconstruction of the **Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville - Cottage Grove, Section 2 Relocation** be and is hereby declared established.

Thereafter, the Board made inspection for the purpose of determining whether or not the lands of any owners had been erroneously included or excluded from the Schedule of Assessments. The Board finds on the basis of the reports and findings at this hearing as follows:

HAMILTON COUNTY DRAINAGE BOARD


PRESIDENT


Member


Member

ATTEST: 
Executive Secretary



STOEPPELWERTH

ALWAYS ON

ofc: 317.849.5935
fax: 317.849.5942

7965 East 106th Street
Fishers, IN 46038-2505
www.stoepelwerth.com

February 24, 2017

City of Noblesville
Department of Engineering
16 South 10th Street
Suite 155
Noblesville, Indiana 46060

Attention: Brian Gray

Re: Conner Crossing of Noblesville
Cottage Grove, Phase 2

Dear Mr. Gray

On behalf of the developer CalAtlantic Homes of Indiana, Inc., please accept this Engineer's Estimate for Conner Crossing of Noblesville Cottage Grove, Phase 2. The estimate is as follows:

Description	Quantity	Unit	Unit Price	Contract Amount	Performance Bond
Signs	20	EA	\$197.00	\$3,940.00	\$4,334.00
Centerline Monuments	22	EA	\$150.00	\$3,300.00	\$3,630.00
Lot Corners	31	EA	\$100.00	\$3,100.00	\$3,410.00
End of Road Markers	3	EA	\$83.33	\$249.99	\$274.99
Bulldozers Sidewalks	5,980	LF	\$4.30	\$25,628.00	\$28,190.80
Sanitary Sewer					
8" SDR-35 at 8'	812	LF	\$18.34	\$14,892.08	
8" SDR-35 at 8'-12'	1,157	LF	\$20.87	\$24,146.59	
8" SDR-26 at 8'-12'	96	LF	\$22.11	\$2,122.56	
8" SDR-26 at 12'-16'	921	LF	\$25.66	\$23,632.86	
8" SDR-26 at 20'-24"	272	LF	\$43.86	\$11,929.92	
8" x 6" SDR-26 Tee Wye	42	EA	\$195.97	\$8,230.74	
Standard Manholes	16	EA	\$2,560.43	\$40,966.88	
Drop Manholes	1	EA	\$8,526.50	\$8,526.50	
Core Existing	4	EA	\$1,701.62	\$6,806.48	
Clean/Video Lines	3,258	LF	\$2.51	\$8,177.58	
Manhole Sealants	50	JT	\$75.21	\$3,760.50	
Air and Mandrel Testing	3,258	LF	\$0.86	\$2,801.88	

LAND DEVELOPMENT SUPPORT SOLUTIONS

ENGINEERING | SURVEYING

16 South 10th Street, Suite 155, Noblesville, Indiana 46060

Vacuum Test Manholes	17	EA	\$171.57	\$2,916.89
6" SDR-26 Lateral	1,862	EA	\$8.04	\$14,970.48
Field Build Drop Manhole	1	EA	\$3,379.96	\$3,379.96
Flowable Fill at Crossing	60	CY	\$94.01	\$5,640.60
Concrete Cap at Crossing	9	CY	\$131.61	\$1,184.49
Asphalt Repair at Crossing	32	SY	\$125.34	\$4,010.88
Main Bedding	938	TON	\$23.69	\$22,221.22
Lateral Bedding	505	TON	\$23.69	\$11,963.45
Main Backfill, Fill Sand	952	TON	\$16.62	\$15,822.24
Lateral Backfill, Fill Sand	617	TON	\$16.62	\$10,254.54
Sanitary Sewer Totals				\$248,359.12
				\$273,195.03

Storm Sewer				
12" RCP 0-8'	741	LF	\$21.43	\$15,879.63
12" RCP 8-12'	202	LF	\$22.60	\$4,565.20
15" RCP 0-8'	295	LF	\$25.06	\$7,392.70
15" RCP 8-12'	89	LF	\$26.24	\$2,335.36
21" RCP 0-8'	332	LF	\$34.27	\$11,377.64
24" RCP 0-8'	166	LF	\$40.27	\$6,684.82
27" RCP 0-8'	261	LF	\$46.79	\$12,212.19
27" RCP 8-12'	318	LF	\$49.43	\$15,619.88
27" RCP >12'	228	LF	\$55.00	\$12,540.00
30" RCP 0-8'	42	LF	\$52.81	\$2,218.02
30" RCP 8-12'	193	LF	\$55.45	\$10,701.85
30" RCP >12'	96	LF	\$61.02	\$5,867.92
36" RCP 8-12'	311	LF	\$71.08	\$22,105.88
42" RCP 0-8'	40	LF	\$98.23	\$3,929.20
42" RCP 8-12'	288	LF	\$101.16	\$29,134.08
48" RCP 0-8'	188	LF	\$105.55	\$19,843.40
48" RCP 8-12'	340	LF	\$108.90	\$37,026.00
48" RCP >12'	217	LF	\$113.47	\$24,622.99
12" Flared End Section w/Debris Gd.	3	EA	\$1,293.97	\$3,881.91
15" Flared End Section w/Debris Gd.	3	EA	\$1,387.98	\$4,163.94
21" Flared End Section w/Debris Gd.	1	EA	\$1,588.52	\$1,588.52
24" Flared End Section w/Debris Gd.	1	EA	\$1,695.06	\$1,695.06
30" Flared End Section w/Debris Gd.	1	EA	\$2,002.15	\$2,002.15
36" Flared End Section w/Debris Gd.	2	EA	\$2,553.66	\$5,107.32
42" Flared End Section w/Debris Gd.	1	EA	\$2,929.69	\$2,929.69
48" Flared End Section w/Debris Gd.	2	EA	\$3,543.87	\$7,087.74
Rip Rap	252	Tons	\$36.76	\$9,263.52
Curb Inlet, R-3501-TR/TL Cstg.	9	EA	\$1,330.31	\$11,972.79
Curb Inlet in MH, R-3501-TR/TL Cstg.	6	EA	\$2,729.14	\$16,374.84
Storm MH, R-1772	15	EA	\$2,718.42	\$40,776.30
Ditch Inlet, R-4342	3	EA	\$1,235.06	\$3,705.18
Ditch Inlet in MH, R-4342	8	EA	\$2,675.80	\$21,406.40



Double Curb Inlet, R-3501-R Cstg.	2	EA	\$3,751.94	\$7,503.88
Double Curb Inlet, R-3501-TR/TL Cstg.	3	EA	\$2,724.12	\$8,172.36
Concrete for Structure Inverts	17	CY	\$400.97	\$6,816.49
No. 8 Stone Bedding for Structures	67	Tons	\$23.69	\$1,587.23
No. 8 Stone Bedding for RCP	1,288	Tons	\$23.69	\$30,512.72
Fill Sand Backfill for RCP	899	Tons	\$16.95	\$15,238.05
Clean and Video Lines	4,345	LF	\$2.82	\$12,252.90
Concrete Collar for 12" Pipe	42	EA	\$94.29	\$3,960.18
Concrete Collar for 15" Pipe	6	EA	\$94.29	\$565.74
Concrete Collar for 21" Pipe	12	EA	\$106.20	\$1,274.40
Concrete Collar for 24" Pipe	4	EA	\$122.67	\$490.68
Concrete Collar for 27" Pipe	14	EA	\$129.82	\$1,817.48
Concrete Collar for 30" Pipe	10	EA	\$138.15	\$1,381.50
Concrete Collar for 36" Pipe	4	EA	\$156.01	\$624.04
Concrete Collar for 42" Pipe	4	EA	\$167.79	\$671.16
Concrete Collar for 48" Pipe	10	EA	\$184.46	\$1,844.60
Str 804A, Vortechs 9000 WQS	1	EA	\$28,321.49	\$28,321.49
Str 823, Vortechs 9000 WQS	1	EA	\$28,321.49	\$28,321.49
Str 848, Vortechs 4000 WQS	1	EA	\$20,001.50	\$20,001.50
Flowable Fill at Crossing	36	CY	\$117.64	\$4,235.04
Concrete Cap at Crossing	9	CY	\$216.70	\$1,950.30
Asphalt Repair at Crossing	28	SY	\$150.41	\$4,211.48

Storm Sewer Total \$557,756.83 \$613,532.51

Subsurface Drains

Street SSD, 6" Dual Wall	980	LF	\$2.88	\$2,822.40
Swale SSD, 6" Dual Wall	4,300	LF	\$3.11	\$13,373.00
4 Inch Lot Services	34	EA	\$66.97	\$2,276.98
Cleanouts	5	EA	\$211.32	\$1,056.60
No. 8 Stone Bedding, Streets	175	Tons	\$27.63	\$4,835.25
No. 8 Stone Bedding, Swales	766	Tons	\$27.63	\$21,164.58
Videotape Lines	5,280	LF	\$1.25	\$6,600.00

Subsurface Drains Total \$52,128.81 \$57,341.69

Water Mains

6" C-900	680	LF	\$11.15	\$7,582.00
8" C-900	3,240	LF	\$14.08	\$45,619.20
8" Ductile Iron	200	LF	\$28.21	\$5,642.00
6" 11.25" MJ Bend Assembly (Plastic Main)	2	EA	\$261.80	\$523.60
8" 11.25" MJ Bend Assembly (Plastic Main)	10	EA	\$319.41	\$3,194.10
8" 45" MJ Bend Assembly (D.I. Main)	8	EA	\$340.40	\$2,723.20
6" 45" MJ Bend Assembly (Plastic Main)	2	EA	\$367.09	\$734.18
8" 45" MJ Bend Assembly (Plastic Main)	4	EA	\$519.96	\$2,079.84



6" Gate Valve Assembly (Plastic Main)	1	EA	\$1,081.42	\$1,081.42
8" Gate Valve Assembly (Plastic Main)	6	EA	\$1,558.98	\$9,353.88
Fire Hyd. Assy. w/Branch Viv. On 6" (Plastic Main)	2	EA	\$4,186.29	\$8,372.58
Fire Hyd. Assy. w/Branch Viv. On 8" (Plastic Main)	7	EA	\$4,341.38	\$30,389.66
8" Tee Assembly (Plastic Main)	3	EA	\$579.21	\$1,737.63
8 x 6 Cross Assembly (Plastic Main)	1	EA	\$752.31	\$752.31
6 Inch 1390 Joint Restraint	4	EA	\$109.74	\$438.96
8 Inch 1390 Joint Restraint	12	EA	\$141.08	\$1,692.96
8" Solid Sleeve Assymby (Plastic Main)	6	EA	\$317.94	\$1,907.64
Main Backfill, Fill Sand	206	Tons	\$17.15	\$3,532.90
Main Bedding, Fill Sand	1,438	Tons	\$15.54	\$22,346.52
Hidden Flush Hydrant Assembly on 8" (Plastic Main)	2	EA	\$476.56	\$953.12
Tracer Wire on Main	4,120	LF	\$0.19	\$782.80
Poly Wrap Main	200	LF	\$1.72	\$344.00
Pressure Testing	4,120	LF	\$2.10	\$8,652.00
Chlorination	4,120	LF	\$2.10	\$8,652.00

Water Mains Total \$169,088.50 \$185,997.35

Water Service Lines

3/4" Water Service Lines	400	LF	\$6.69	\$2,676.00
1" Water Service Lines	340	LF	\$7.14	\$2,427.60
3/4" x 6" Saddle Tap with Corp Stop	3	EA	\$349.31	\$1,047.93
3/4" x 8" Saddle Tap with Corp Stop	11	EA	\$280.06	\$3,080.66
1" x 6" Saddle Tap with Corp Stop	3	EA	\$332.84	\$998.52
1" x 8" Saddle Tap with Corp Stop	6	EA	\$569.74	\$3,418.44
20" Meter Pit and Casting	14	EA	\$463.19	\$6,484.66
24" Meter Pit and Casting	9	EA	\$988.38	\$8,895.42
Service Line Bedding, Fill Sand	26	Tons	\$15.54	\$404.04
Service Line Backfill, Fill Sand	102	Tons	\$17.15	\$1,749.30
Tracer Wire, Service Lines	740	LF	\$0.19	\$140.60

Water Mains Total \$31,323.17 \$34,455.49

Paving

Passing Blister

Passing Blister #53 at 6"	135	Tons	\$22.62	\$3,053.70
Passing Blister 19mm OG at 2"	41	Tons	\$86.94	\$3,564.54
Passing Blister 22mm Base at 4"	90	Tons	\$71.54	\$6,438.60
Passing Blister 19mm INT at 2.5"	56	Tons	\$76.74	\$4,297.44
Passing Blister 9.5mm SURF at 1.5"	34	Tons	\$73.85	\$2,510.90

Passing Blister Total \$19,865.18 \$21,851.70

AD Lane

AD Lane #53 at 6"	222	Tons	\$20.88	\$4,635.36
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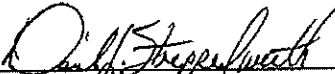
AD Lane 19mm OG at 2"	69	Tons	\$68.59	\$4,732.71	
AD Lane 25mm Base at 4"	143	Tons	\$60.57	\$8,661.51	
AD Lane 19mm INT at 2.5"	89	Tons	\$63.23	\$5,627.47	
AD Lane 9.5mm SURF at 1.5"	54	Tons	\$64.19	\$3,466.26	
			AD Lane Total	\$27,123.31	\$29,835.84
Moontown Road Milling & Resurface at 1.5"					
Moontown Road Milling at 1.5"	4,082	SYS	\$2.76	\$11,266.32	
Moontown Road Resurface at 1.5"	337	Tons	\$65.75	\$22,157.75	
			Moontown Road Total	\$33,424.07	\$36,766.48
2' Stone Shoulder					
2' Stone Shoulder at 6"	195	Tons	\$33.09	\$6,452.55	
			Stone Shoulder Total	\$6,452.55	\$7,097.81
Onsite Paving					
Onsite #53 at 6"	4,950	Tons	\$17.12	\$84,744.00	
Onsite 25mm Base at 2.5"	1,765	Tons	\$49.47	\$87,314.55	
Onsite 19mm INT at 2.5"	1,765	Tons	\$51.19	\$90,350.35	
Onsite 9.5mm SURF at 1.5"	1,058	Tons	\$61.16	\$64,707.28	
			Onsite Paving Total	\$327,116.18	\$359,827.80
8' Path					
8' Path #53 at 6"	627	Tons	\$19.64	\$12,314.28	
8' Path 12.5mm SURF at 3"	251	Tons	\$70.74	\$17,755.74	
			Erosion Control Total	\$30,070.02	\$33,077.02
Striping					
	1	LS	\$4,380.00	\$4,380.00	\$4,818.00
			Striping Total	\$4,380.00	\$4,818.00
Curbs & CA Sidewalks					
Roll Curb	6,295	LF	\$8.09	\$50,926.55	
Chairback Curb & Gutter	1,730	LF	\$10.18	\$17,611.40	
5' & 6' Common Area Sidewalk	11,281	SF	\$4.30	\$48,508.30	
Cast Iron Truncated Domes	48	LF	\$125.00	\$6,000.00	
			Curbs & CA Sidewalks Total	\$123,046.25	\$135,350.88
Erosion Control					
Permanent Seed with Mulch	52,019	SY	\$0.45	\$23,408.55	
Temporary Seed with Mulch (Pads)	11	AC	\$1,200.00	\$12,720.00	
Permanent Seed with Blanket (\$150)	24,995	SY	\$1.17	\$29,244.15	
Perimeter Silt Fence	6,250	LF	\$1.00	\$6,250.00	



Noblesville Dept. of Engineering
Brian Gray
February 24, 2017
Page 6 of 6

Paved Area Inlet Protection (Latex Coir Mats)	28	EA	\$40.00	\$1,120.00	
Yard Inlet Protection	10	EA	\$65.00	\$650.00	
			Erosion Control Total	\$73,392.70	\$80,731.97
			Grand Total	\$1,739,744.68	\$1,913,719.15

If you have any questions, please give Brett A. Huff a call at (317) 570-4841. Witness my signature this February 24, 2017.



David J. Stoepfelwerth, P.E.
Professional Engineer
No. 19358



Cc: Keith Lash
Stu Huckelberry

BAH/meb
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FILED

APR 27 2017



SUBDIVISION BOND

OFFICE OF HAMILTON COUNTY SURVEYOR

Bond No.: 30009196

Principal Amount: \$233,234.64

HCDB-2017-00026

KNOW ALL MEN BY THESE PRESENTS, that we CalAtlantic Homes of Indiana, Inc., 9025 N. River Road, Suite 100, Indianapolis, IN 46240 as Principal, and The Continental Insurance Company, 4150 N. Drinkwater Blvd., Suite 105, Scottsdale, AZ 85251, a Pennsylvania Corporation, as Surety, are held and firmly bound onto Hamilton County Board of Commissioners, One Hamilton County Square, Noblesville, IN. 46060, as Obligee, in the penal sum of Two Hundred Thirty Three Thousand Two Hundred Thirty Four and 64/100 Dollars (\$233,234.64), lawful money of the United States of America, for the payment of which will and truly to be made, we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, CalAtlantic Homes of Indiana, Inc. has agreed to construct in Conner Crossing of Noblesville Cottage Grove, Phase 2 Subdivision, in Hamilton County, IN the following improvements:

Legal Drain Reconstruction

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvement herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect until released by the Obligee, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed per the requirement of the Obligee, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed, but only by doing a rider to this original bond.

Signed, sealed and dated, this 26th day of April, 2017.

CalAtlantic Homes of Indiana, Inc.

The Continental Insurance Company

Principal

Surety

By: _____

By: _____

Name and Title: KEITH LASH, VICE PRESIDENT

Name and Title: Tracy Aston, Attorney-in-Fact

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On APR 26 2017 before me, Edward C. Spector, Notary Public, personally appeared Tracy Aston who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

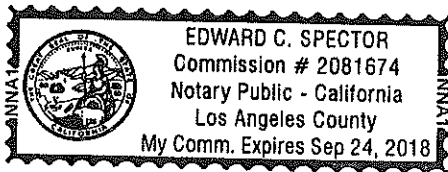
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



Signature of Notary Public



POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That The Continental Insurance Company, a Pennsylvania insurance company, is a duly organized and existing insurance company having its principal office in the City of Chicago, and State of Illinois, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Tracy Aston, Tom Branigan, Edward C Spector, Kristine Mendez, Daravy Mady, Lisa K Crail, Simone Gerhard, B Aleman, Benjamin Lee Wolfe, K D Conrad, Individually

of Los Angeles, CA, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the insurance company and all the acts of said Attorney, pursuant to the authority hereby given is hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Board of Directors of the insurance company.

In Witness Whereof, The Continental Insurance Company has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 9th day of June, 2015.



The Continental Insurance Company

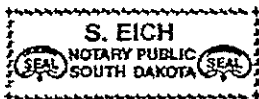
Paul T. Bruflatt (Signature)

Paul T. Bruflatt

Vice President

State of South Dakota, County of Minnehaha, ss:

On this 9th day of June, 2015, before me personally came Paul T. Bruflatt to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is a Vice President of The Continental Insurance Company, a Pennsylvania insurance company, described in and which executed the above instrument; that he knows the seal of said insurance company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said insurance company and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said insurance company.



My Commission Expires February 12, 2021

S. Eich (Signature)

S. Eich

Notary Public

CERTIFICATE

I, D. Bult, Assistant Secretary of The Continental Insurance Company, a Pennsylvania insurance company, do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of the insurance company printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said insurance company this _____ day of _____, APR 26 2017



The Continental Insurance Company

D. Bult (Signature)

D. Bult

Assistant Secretary

Form F6850-4/2012

Authorizing Resolutions

ADOPTED BY THE BOARD OF DIRECTORS OF THE CONTINENTAL INSURANCE COMPANY:

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the Board of Directors of the Company at a meeting held on May 10, 1995.

“RESOLVED: That any Group Vice President may authorize an officer to sign specific documents, agreements and instruments on behalf of the Company provided that the name of such authorized officer and a description of the documents, agreements or instruments that such officer may sign will be provided in writing by the Group Vice President to the Secretary of the Company prior to such execution becoming effective.”

This Power of Attorney is signed by Paul T. Bruflat, Vice President, who has been authorized pursuant to the above resolution to execution power of attorneys on behalf of The Continental Insurance Company.

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of the Company by unanimous written consent dated the 25th day of April, 2012:

“Whereas, the bylaws of the Company or specific resolution of the Board of Directors has authorized various officers (the “Authorized Officers”) to execute various policies, bonds, undertakings and other obligatory instruments of like nature; and

Whereas, from time to time, the signature of the Authorized Officers in addition to being provided in original, hard copy format, may be provided via facsimile or otherwise in an electronic format (collectively, “Electronic Signatures”); Now therefore be it resolved: that the Electronic Signature of any Authorized Officer shall be valid and binding on the Company.”

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

*Sly Run Drain, Bliss Johnson Arm
Conner Crossing of Noblesville, Cottage Grove Section 2 Relocation*

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board concerning the reconstruction of the **Sly Run Drain, Bliss Johnson Arm, Conner Crossing of Noblesville, Cottage Grove Section 2 Relocation** on **May 29, 2018 at 9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana. Construction and maintenance reports of the Surveyor and the Schedule of Assessments proposed by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

STATE OF INDIANA)
) SS BEFORE THE HAMILTON
)
COUNTY OF HAMILTON) DRAINAGE BOARD

IN THE MATTER OF Sly Run Drain, Bliss Johnson Arm, Conner
Crossing of Noblesville-Cottage Grove Section 2 Relocation

NOTICE

Notice is hereby given that the Hamilton County Drainage Board at its regular meeting **May 29, 2018** adopted the reconstruction report of the Surveyor and the Amended Schedule of damages and assessments including annual assessment for periodic maintenance, finding that the costs, damages and expense of the proposed improvement would be less than the benefits which will result to the owner of lands benefited thereby.

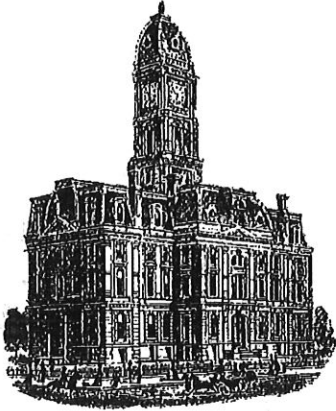
The Board issued an order declaring the proposed improvement established. Such findings and order were marked filed and are available for inspection in the Office of the Hamilton County Surveyor.

If judicial review of the findings and order of the Board is not requested pursuant to Article VIII of the 1965 Indiana Drainage Code as amended within twenty (20) days from the date of publication of this notice, the findings and order shall become conclusive.

HAMILTON COUNTY DRAINAGE BOARD

BY: Steven C. Dillinger
PRESIDENT

ATTEST: Lynette Mosbaugh
SECRETARY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

February 3, 2021

Re: Bliss Johnson Drain: Conner Crossing of Noblesville-Cottage Grove Sec. 2

Attached are as-built, certificate of completion & compliance, and other information for Conner Crossing of Noblesville – Cottage Grove Sec. 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated April 16, 2018. The report was approved by the Board at the hearing held May 29, 2018. (See Drainage Board Minutes Book 18, Pages 143-146) The changes are as follows: the 36" RCP was shortened from 219 feet to 214 feet. The 42" RCP was lengthened from 329 feet to 732 feet. The 48" RCP was shortened from 744 feet to 317 feet. The 458 feet of open drain was lengthened to 481 feet. The length of the drain due to the changes described above is now **1744 feet**. It should be noted that the project removed 1171 feet of existing tile.

The ownership and maintenance for all the BMP's are outlined in the OEM manual and recorded in the Hamilton County Recorder's office under instrument #2017016318. The BMP'S are in the City of Noblesville's MS4 Jurisdiction.


The non-enforcement was approved by the Board at its meeting on May 29, 2018 and recorded under instrument #2018023660.

The following sureties were guaranteed by Liberty Mutual Insurance Company and released by the Board on its February 8, 2021 meeting.

Bond-LC No: 30009196
Amount: \$233,234.64
For: Storm Sewers & SSD
Issue Date: May 3, 2017

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

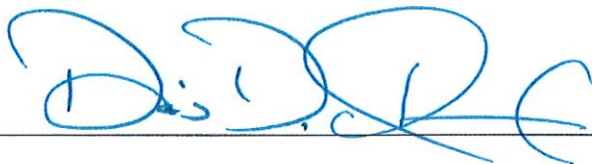
CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Conner Crossing of Noblesville Cottage Grove, Section 2

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: 2/3/2021

Type or Print Name: Dennis D. Olmstead

Business Address: Stoeppelwerth & Associates, Inc.
7965 East 106th Street, Fishers, Indiana 46038

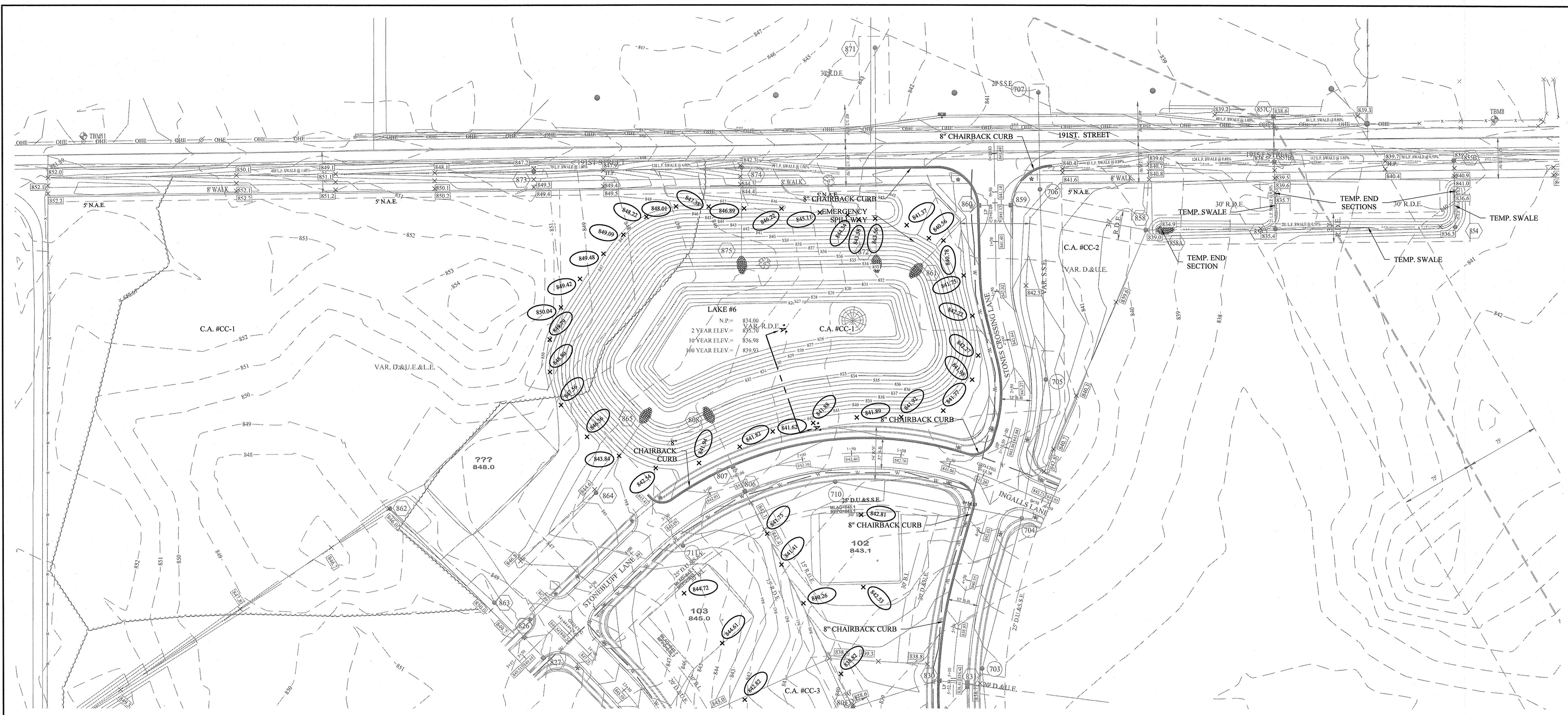
Telephone Number: (317) 849-5935

SEAL

INDIANA REGISTRATION NUMBER



900012



- EARTHWORK:**
- EXCAVATION**
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 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
 - SITE GRADING**
 - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

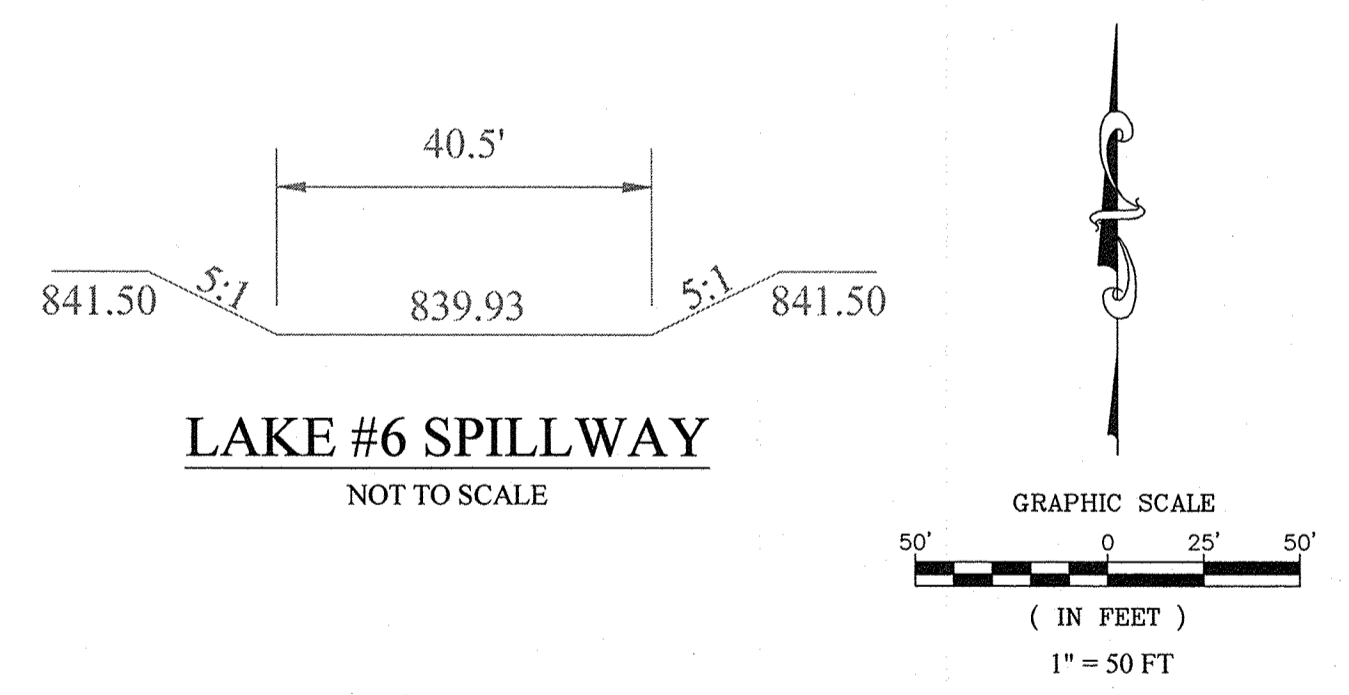
- NOTES:**
- THIS SUBDIVISION MEETS A.D.A. REQUIREMENTS AND SUBDIVISION CODE STANDARDS.
 - ALL OFF-SITE AND EXISTING DRAIN TILES SHALL BE TIED INTO THE PROPOSED STORM SYSTEM OF THIS SECTION (WHERE APPLICABLE).
 - ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
 - LOWEST OPENINGS OF HOMES MUST BE AT LEAST 2 FEET ABOVE THE 100 YEAR POOL ELEVATION OF THE NEAREST POND
 - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - IF EXISTING FIELD TILES ARE ENCOUNTERED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERPETUATE THESE FIELD TILES INTO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR SHALL COORDINATE THESE CONNECTIONS WITH THE HAMILTON COUNTY'S SURVEYOR'S OFFICE AT 317-776-8495.
 - CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB OF THE ROAD PERPENDICULAR TO THE LATERAL MARKER.
 - IT IS RECOMMENDED THAT ANY BASEMENT FLOOR IS AT LEAST A FOOT ABOVE THE NORMAL POOL ELEVATION TO AVOID THE OVERUSE OF SUMP PUMPS AND POTENTIAL FREQUENT FLOODING OF BASEMENTS.
 - ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.
 - SEE NOBLESVILLE STANDARD DETAILS (SHEET 5) FOR SWALE SPECIFICATIONS.
 - SEE NOBLESVILLE STANDARD DETAILS (SHEET 10) FOR LATERAL TO THE REAR YARD SWALE SPECIFICATIONS.
 - THE BUILDINGS LOWEST ENTRY ELEVATION THAT IS ADJACENT TO AND FACING A ROAD SHALL BE A MINIMUM OF 15" ABOVE THE ROAD ELEVATION.
 - NOTE TO HOME BUILDER: REAR YARD SLOPES SHALL NOT EXCEED 3:1 SLOPE FROM MIDDLE OF PAD TO SWALE. NO HOME OR HOME ADDITION SUCH AS PATIOS, FIRE PLACE, STOOP (ETC.) SHALL BE PLACE BEYOND THE EXTENT OF THE PAD ON LOTS OR IN AREAS WHERE A 3:1 SLOPE CANNOT BE MAINTAINED TO REAR SWALE.
 - SEE SHEETS C603-C604 FOR SUB SURFACE DRAIN INFORMATION.

LEGEND

- - - - - EXISTING CONTOUR
- - - - - EXISTING SANITARY SEWER
- - - - - EXISTING STORM SEWER
- PROPOSED GRADE
- - - - - PROPOSED CONTOUR
- - - - - PROPOSED SANITARY SEWER
- - - - - PROPOSED STORM SEWER
- FM PROPOSED FORCE MAIN
- W PROPOSED WATER LINE
- - - - - PROPOSED SWALE
- - - - - PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- XX XXX.X LOT NUMBER PAD ELEVATION
- MEF 790.5 MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW
 - (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
 - 15" (1.25') ABOVE THE ROAD ELEVATION
 - 6" (0.5') ABOVE THE MLAG
- MLAG 795.5 MINIMUM LOWEST ADJACENT GRADE (FLOOD PROTECTION)
- M. E. DENOTES MATCH EXISTING GRADE
- FOUNTAIN
- LIMITS OF 8" CHAIR BACK CURB & GUTTER

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- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
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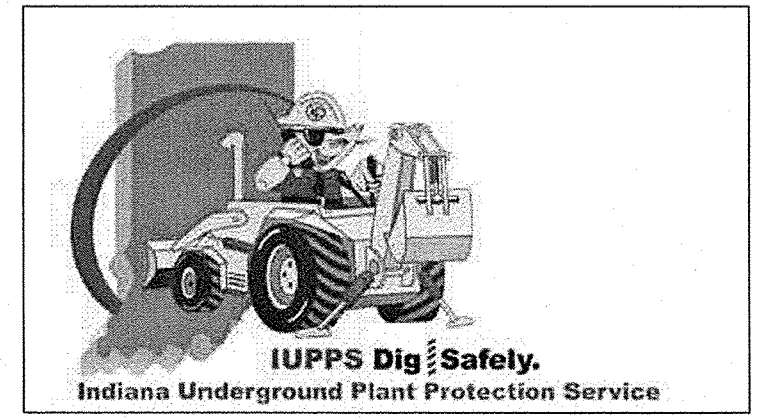


RECORD DRAWING

Dennis D. Olmstead
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



Know what's below.
 Call before you dig.



FILE NAME: S:\75744\CAL-S2\DWG\C200 Site Development Plan.dwg - C200
 MODIFIED / BY: November 15, 2017 11:22:05 AM / jwillis
 PLOTTED / BY: November 15, 2017 6:39:00 PM / Jennifer Willis

STOEPPELWERTH
 ALWAYS ON
 7915 East 106th Street, Fishers, IN 46038-2505
 phone: 317.849.5955 fax: 317.849.5942

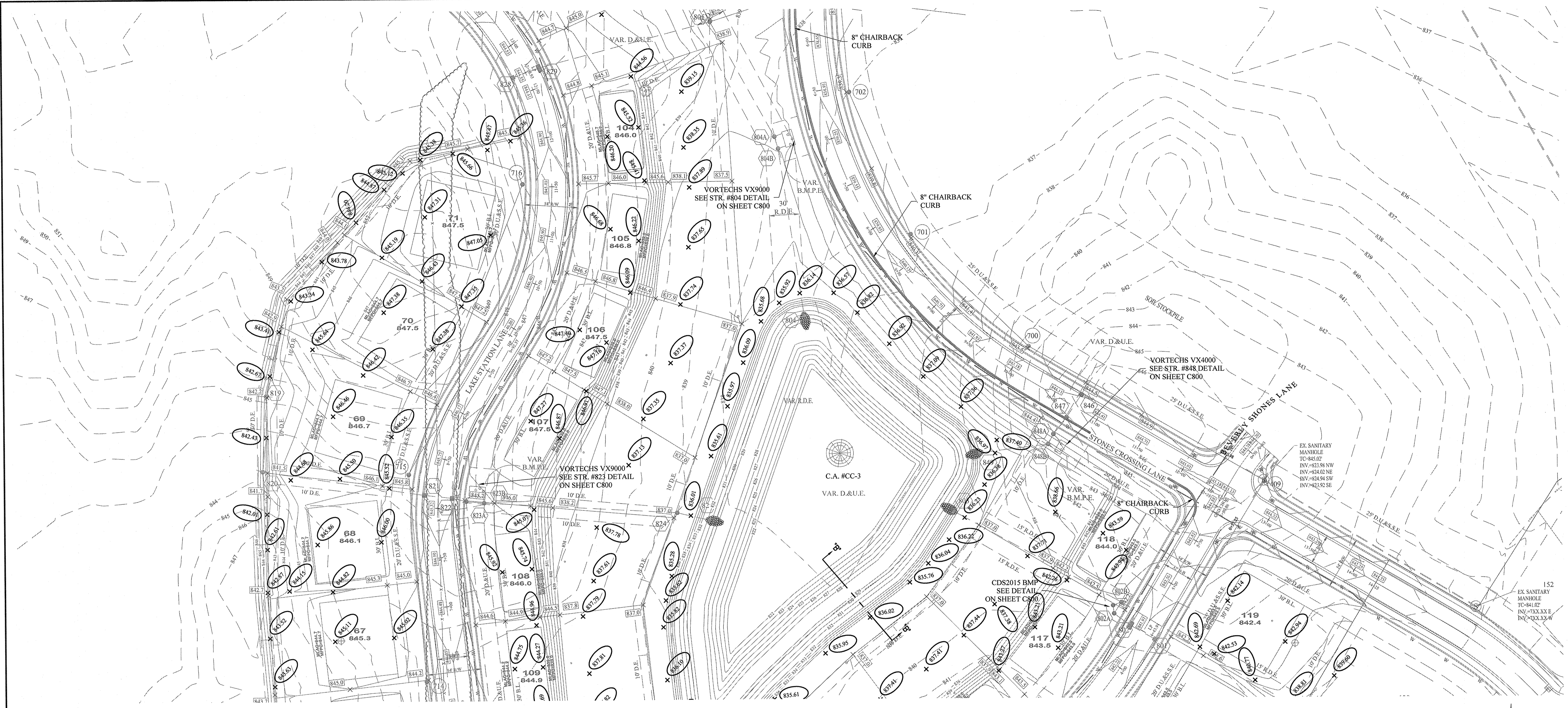
SITE DEVELOPMENT PLAN
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP HAMILTON COUNTY, INDIANA

DRAWN BY: JSW
 CHECKED BY: BAH
 SHEET NO: C200
 S.E.A. JOB NO: 75744CAL-S2

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY. A ROUTE TO A SURVEYOR LOCATION REPORT.
 CERTIFIED: 11/16/2017
David J. Steppewerth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

NO.	DATE	MARK	REVISIONS
1	11/15/17		AS BUILTS
2	12/28/16		REVISED PER TAC COMMENTS
3			REVISED PER TAC COMMENTS

File Name: S:\7574CAL-SCD\WG\C201_Site Development Plan.dwg - C201
 Modified By: November 15, 2017 11:22:05 AM
 Plotted By: November 15, 2017 8:38:15 PM / Jennifer Willis

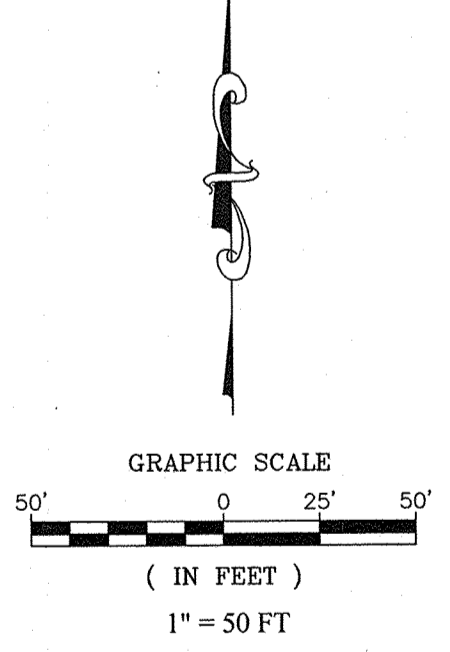


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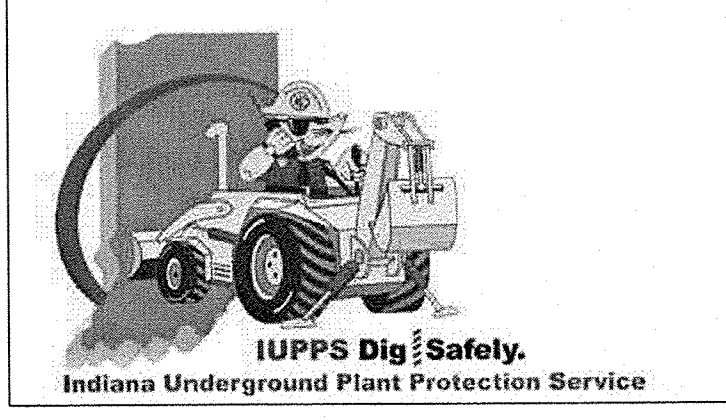


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D.D.O.
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012



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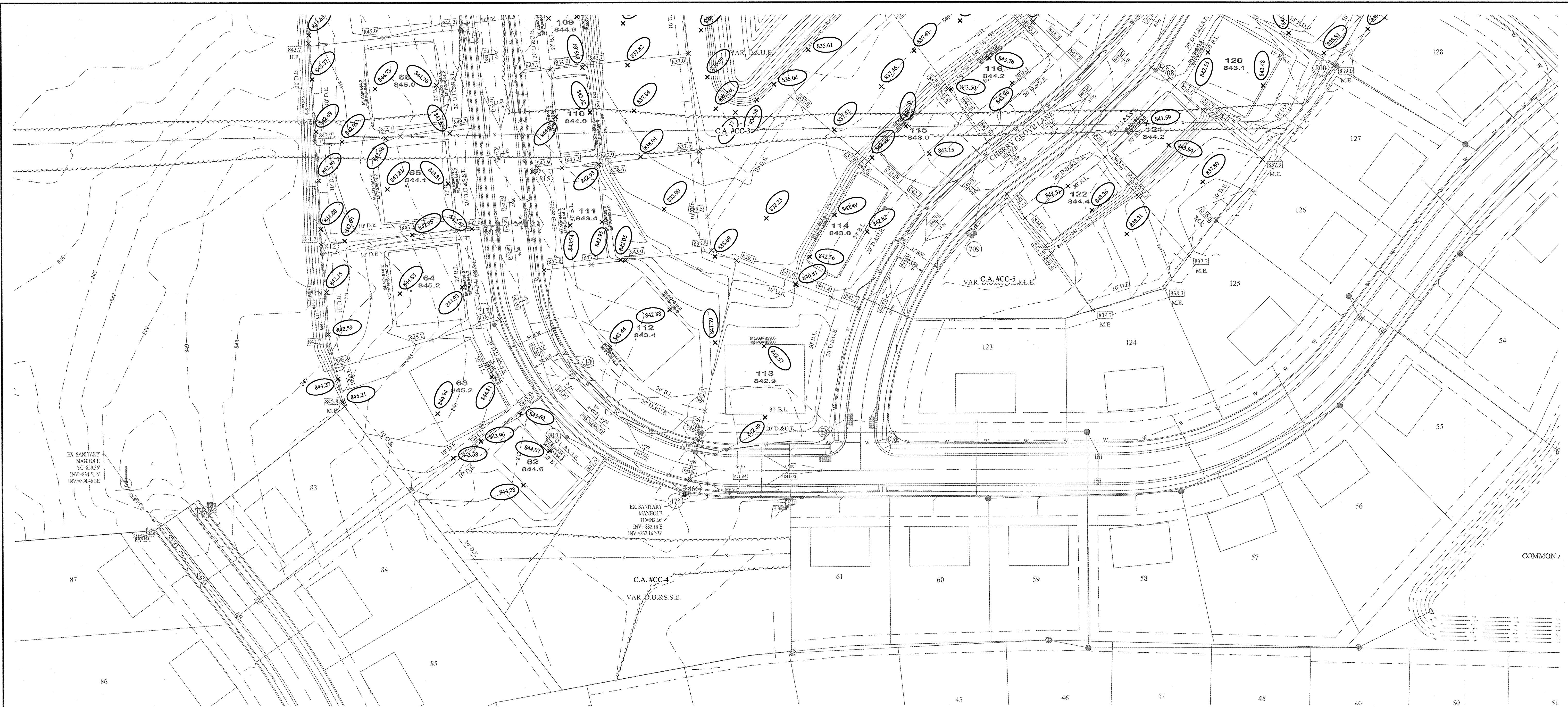
AS BUILTS	JAW	BY
REVISED PER TAC COMMENTS	11/15/17	
REVISED PER TAC COMMENTS	12/16/16	
DATE	MARK	

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 CERTIFIED: 11/16/16
 David J. Stoepfelwirth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

STOEPPELWERTH
 ALWAYS ON
 7965 Fort 10th Street, Fishers, IN 46038-2505
 phone: 317.645.5905 fax: 317.645.5942

SITE DEVELOPMENT PLAN
SECTION TWO
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 HAMILTON COUNTY, INDIANA
 NOBLESVILLE, WAYNE TOWNSHIP

DRAWN BY: JSW
 CHECKED BY: BAH
 SHEET NO. C201
 S & A JOB NO. 75744CAL-S2



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 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
 - SITE GRADING**
 - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

- NOTES:**
- THIS SUBDIVISION MEETS A.D.A. REQUIREMENTS AND SUBDIVISION CODE STANDARDS.
 - ALL OFF-SITE AND EXISTING DRAIN TILES SHALL BE TIED INTO THE PROPOSED STORM SYSTEM OF THIS SECTION (WHERE APPLICABLE).
 - ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
 - LOWEST OPENINGS OF HOMES MUST BE AT LEAST 2 FEET ABOVE THE 100 YEAR POOL ELEVATION OF THE NEAREST POND
 - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - IF EXISTING FIELD TILES ARE ENCOUNTERED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERPETUATE THESE FIELD TILES INTO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR SHALL COORDINATE THESE CONNECTIONS WITH THE HAMILTON COUNTY'S SURVEYOR'S OFFICE AT 317-776-8495.
 - CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB OF THE ROAD PERPENDICULAR TO THE LATERAL MARKER.
 - IT IS RECOMMENDED THAT ANY BASEMENT FLOOR IS AT LEAST A FOOT ABOVE THE NORMAL POOL ELEVATION TO AVOID THE OVERUSE OF SUMP PUMPS AND POTENTIAL FREQUENT FLOODING OF BASEMENTS.
 - ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.
 - SEE NOBLESVILLE STANDARD DETAILS (SHEET 5) FOR SWALE SPECIFICATIONS.
 - SEE NOBLESVILLE STANDARD DETAILS (SHEET 10) FOR LATERAL TO THE REAR YARD SWALE SPECIFICATIONS.
 - THE BUILDINGS LOWEST ENTRY ELEVATION THAT IS ADJACENT TO AND FACING A ROAD SHALL BE A MINIMUM OF 15" ABOVE THE ROAD ELEVATION.
 - NOTE TO HOME BUILDER: REAR YARD SLOPES SHALL NOT EXCEED 3:1 SLOPE FROM MIDDLE OF PAD TO SWALE. NO HOME OR HOME ADDITION SUCH AS PATIOS, FIRE PLACE, STOOP (ETC.) SHALL BE PLACE BEYOND THE EXTENT OF THE PAD ON LOTS OR IN AREAS WHERE A 3:1 SLOPE CANNOT BE MAINTAINED TO REAR SWALE.
 - SEE SHEETS C603-C604 FOR SUB SURFACE DRAIN INFORMATION.

LEGEND

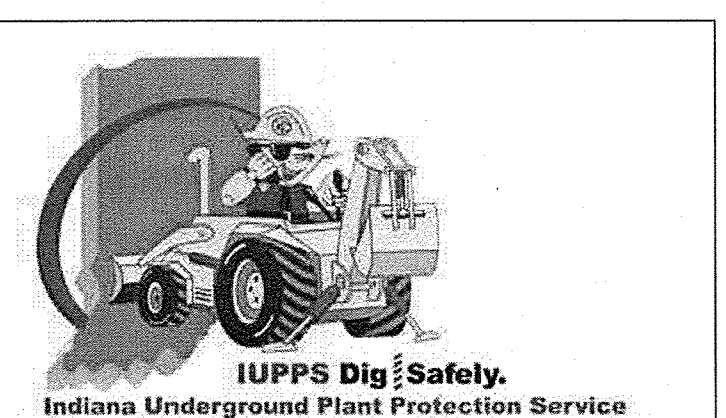
- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- ★ ADA RAMP TO BE INSTALLED
- PROPOSED FOUNTAIN
- XX
XXX.X LOT NUMBER
PAD ELEVATION
- PROPOSED 4' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- PROPOSED 6" UNDERDRAINS UNDER SAG CURB INLETS (SEE SHEET 5 NOBLESVILLE DETAILS NOTE #22)
- MF XXX.X MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW
 - (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
 - 15" (1.25') ABOVE THE ROAD ELEVATION
 - 6" (0.5') ABOVE THE MLAG
- MLAG XXX.X MINIMUM LOWEST ADJACENT GRADE (FLOOD PROTECTION)

LEGEND

- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
- C.A. COMMON AREA
- R/W RIGHT OF WAY
- L.E. LANDSCAPE EASEMENT
- N.A.E. NON ACCESS EASEMENT
- B.M.P.E. BEST MANAGEMENT PRACTICE EASEMENT
- R.D.E. REGULATED DRAINAGE EASEMENT

RECORD DRAWING

D.D.D.
Dennis D. Olmstead
Registered Land Surveyor
No. 900012
11/16/2017



STOEPPELWERTH
ALWAYS ON
7955 East 10th Street, Fishers, IN 46038-2505
Phone: 317.849.2955 Fax: 317.849.2942

DAVID J. STOEPPELWERTH
REGISTERED
No. 19358
STATE OF INDIANA
PROFESSIONAL ENGINEER

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFERENCE OR ORIGINAL BOUNDARY SURVEY. A ROUTE SURVEY IS A SURVEY FOR LOCATION REPORT.
CERTIFIED: 11/16/17
David J. Stoepfelwerth

DATE: 11/16/17
BY: [Signature]
PDR: [Signature]
REVISED PER TAC COMMENTS: [Signature]
AS BUILTS: [Signature]
REVISED PER TAC COMMENTS: [Signature]

SITE DEVELOPMENT PLAN
CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
SECTION TWO
NOBLESVILLE, WAYNE TOWNSHIP
HAMILTON COUNTY, INDIANA

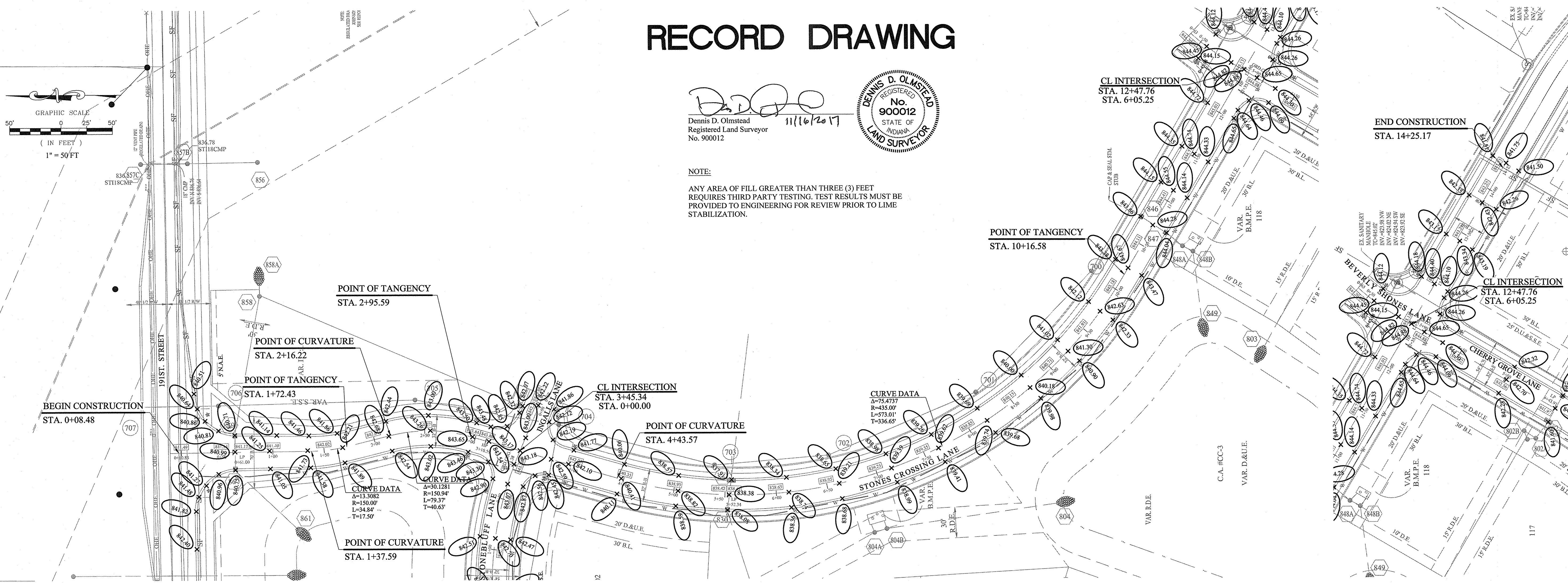
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CHECKED BY: BAH
SHEET NO. C202
S & A JOB NO. 75744CAL-S2

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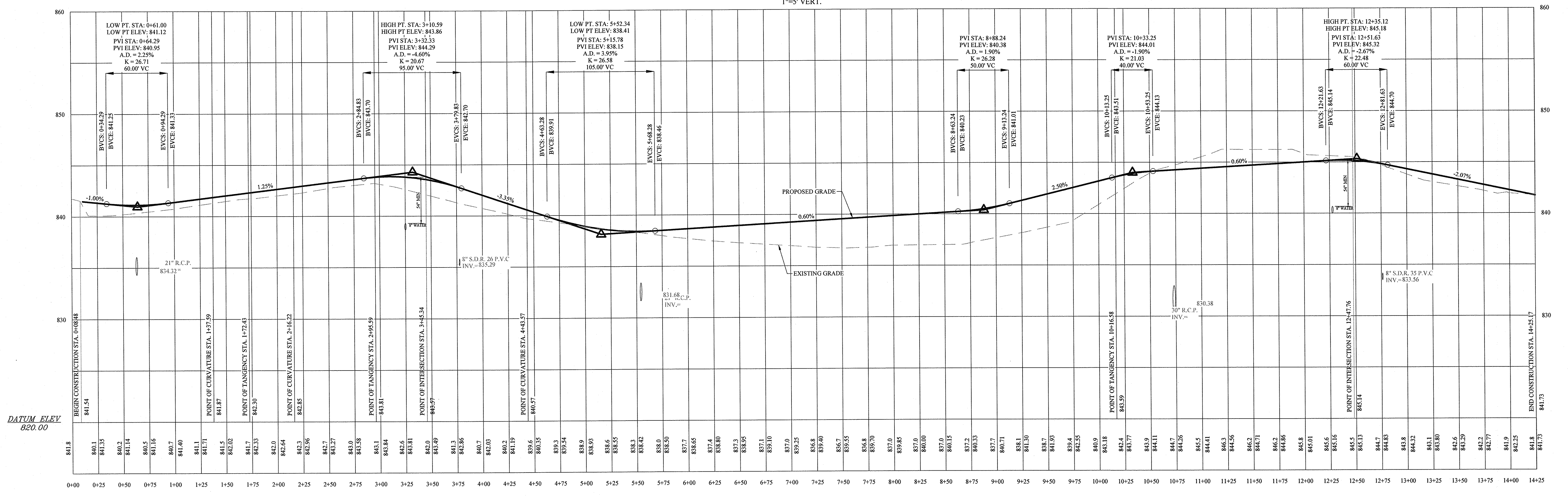
Dennis D. Olmstead
Registered Land Surveyor
No. 900012
11/16/2017



NOTE:
ANY AREA OF FILL GREATER THAN THREE (3) FEET
REQUIRES THIRD PARTY TESTING. TEST RESULTS MUST BE
PROVIDED TO ENGINEERING FOR REVIEW PRIOR TO LIME
STABILIZATION.



SCALE: 1"=50' HOR.
1"=5' VERT.



STONES CROSSING LANE

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November 15, 2017 6:39:52 PM / Jennifer Willis

STREET PLAN & PROFILE
CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
SECTION TWO
NOBLESVILLE, WAYNE TOWNSHIP, HAMILTON COUNTY, INDIANA

STOEPPELWERTH
ALWAYS ON
7965 East 10th Street, Fishers, IN 46038-2905
phone: 317.892.5955 fax: 317.849.5942

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY. A ROUTE OF SURVEY FOR LOCATION REPORT.

CERTIFIED: 11/16/16
David J. Stoepfelwerth
REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA

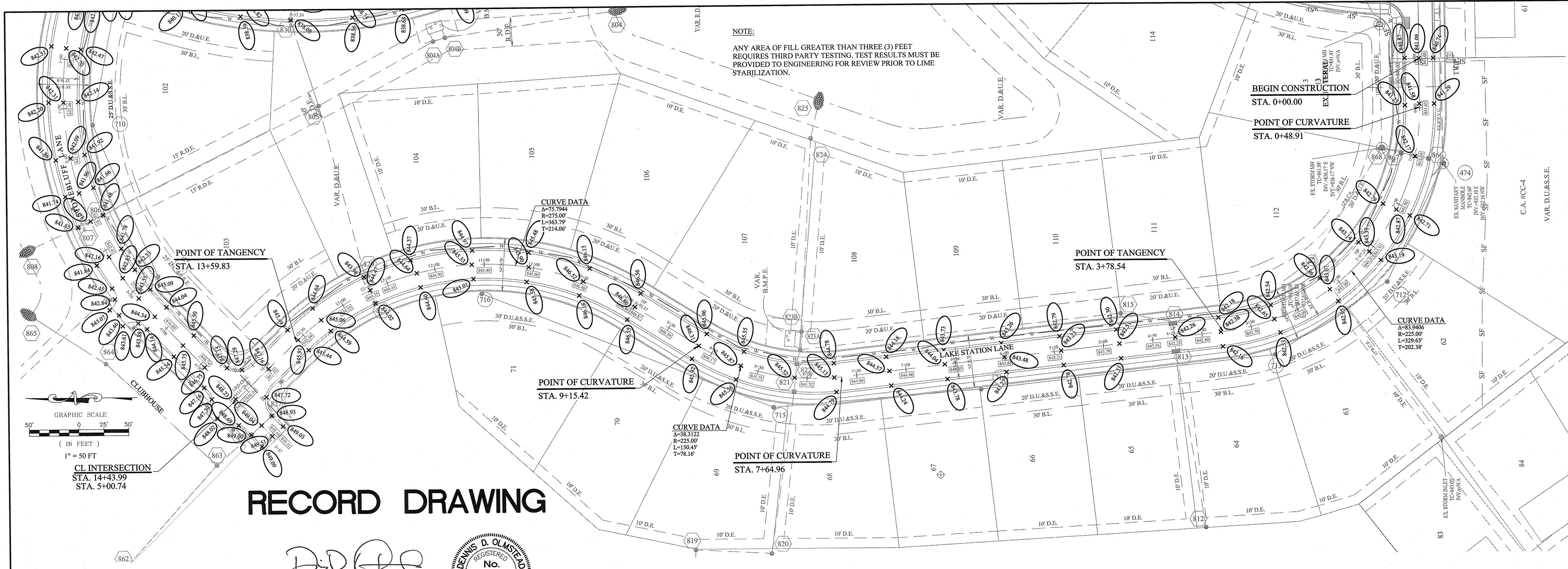
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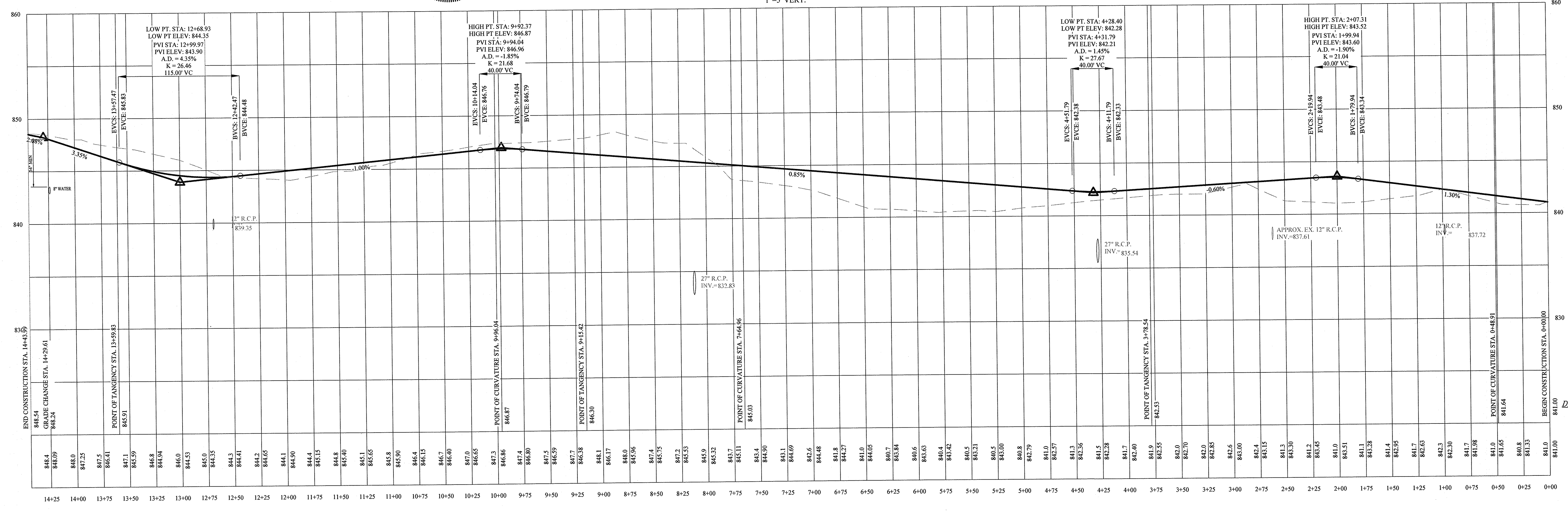


RECORD DRAWING

D.D.O.
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



SCALE: 1"=50' HOR.
 1"=5' VERT.



LAKE STATION LANE

STOEPPELWERTH
 ALWAYS ON
 7905 East 100th Street, Fishers, IN 46038-2505
 Phone: 317 849 5905 Fax: 317 849 5942

STREET PLAN & PROFILE
CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
SECTION TWO

NOBLESVILLE, WAYNE TOWNSHIP
 HAMILTON COUNTY, INDIANA

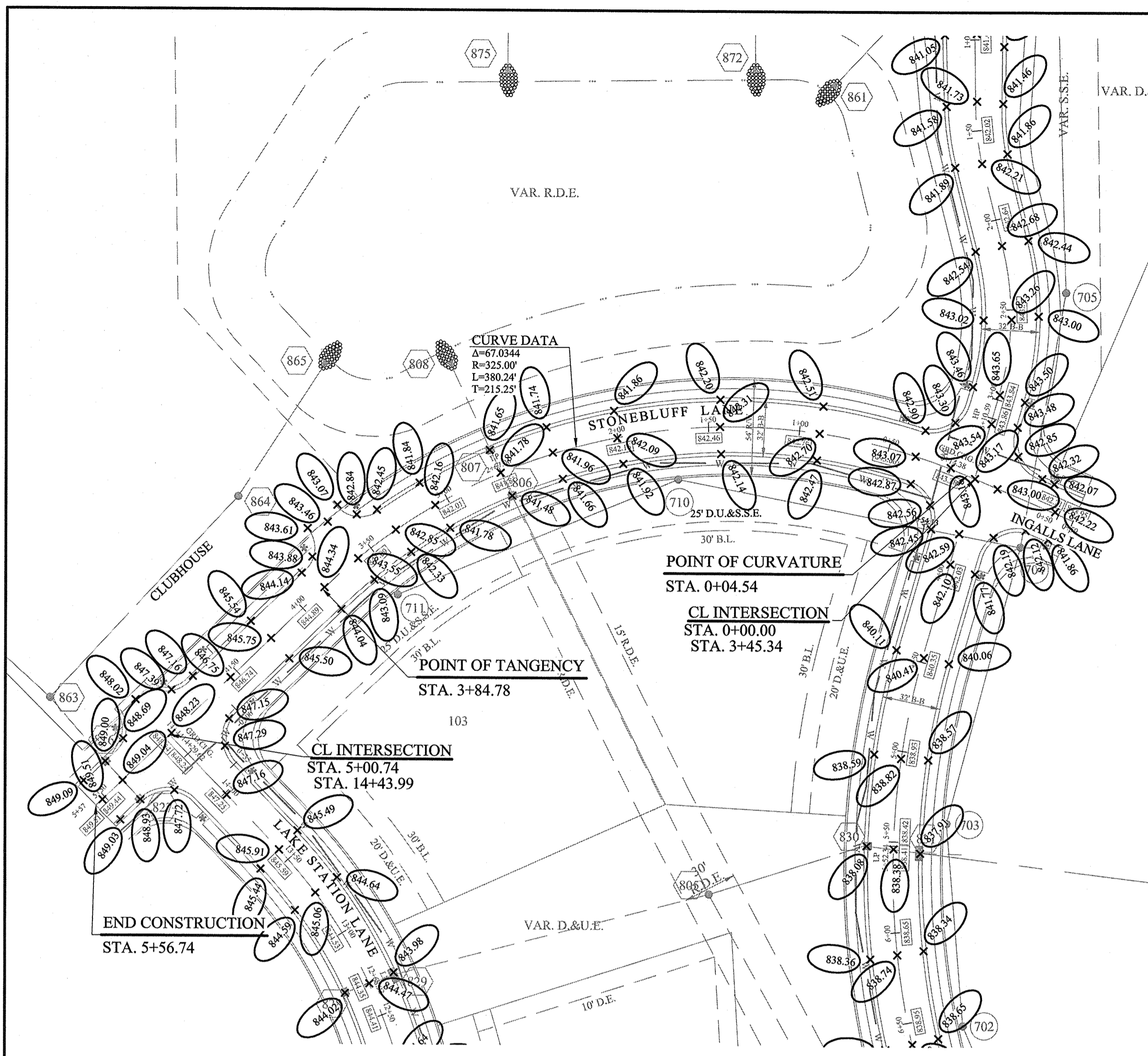
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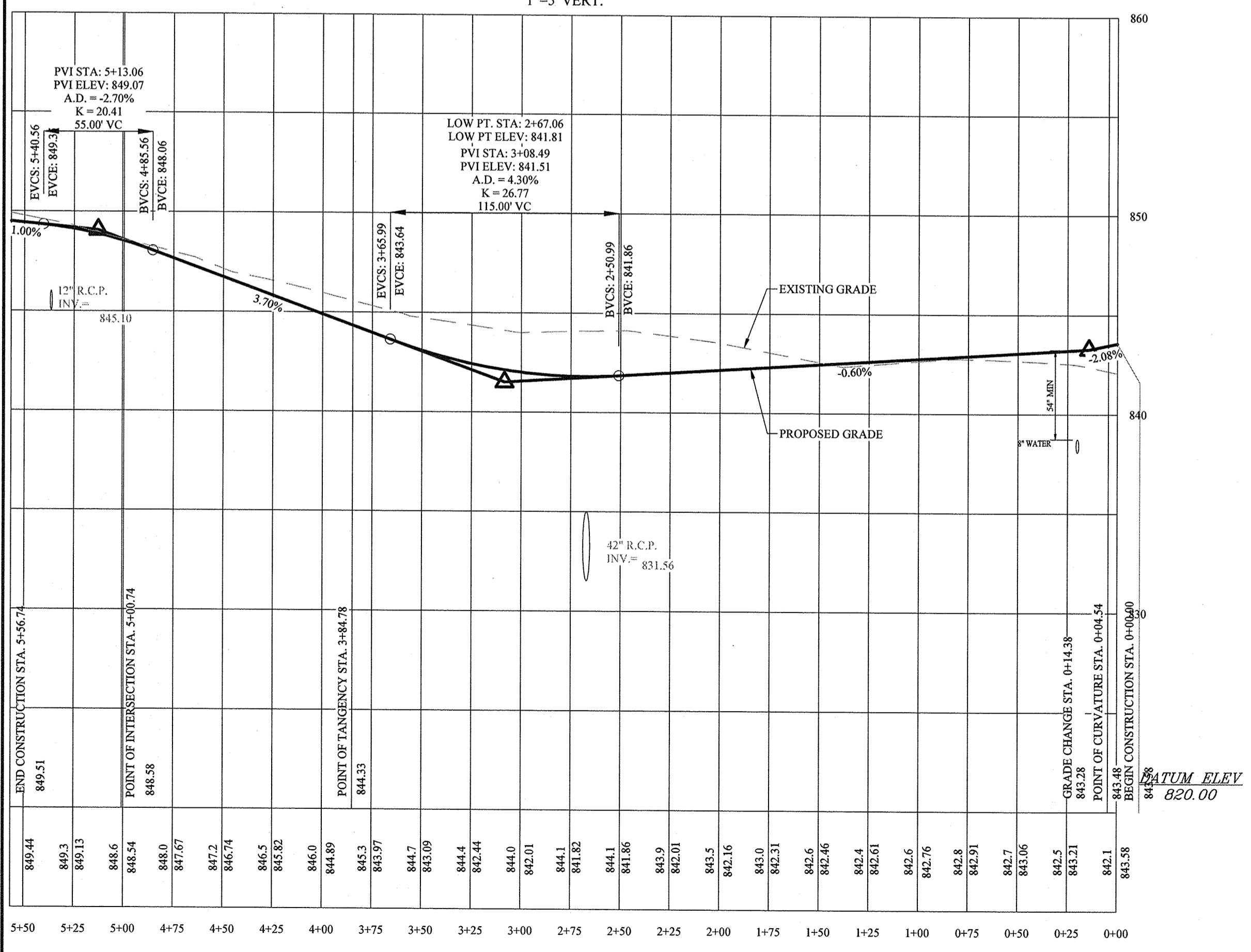
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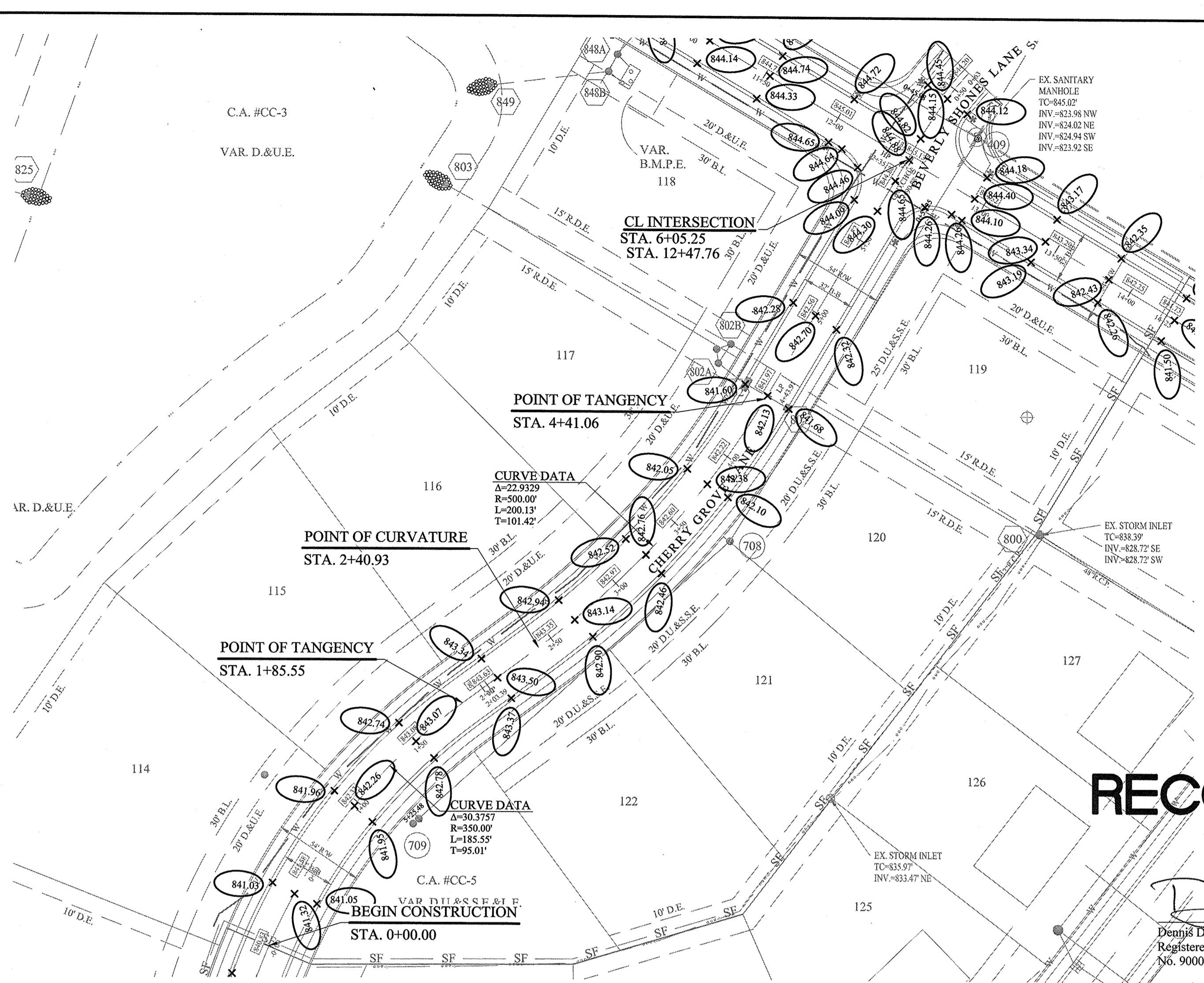
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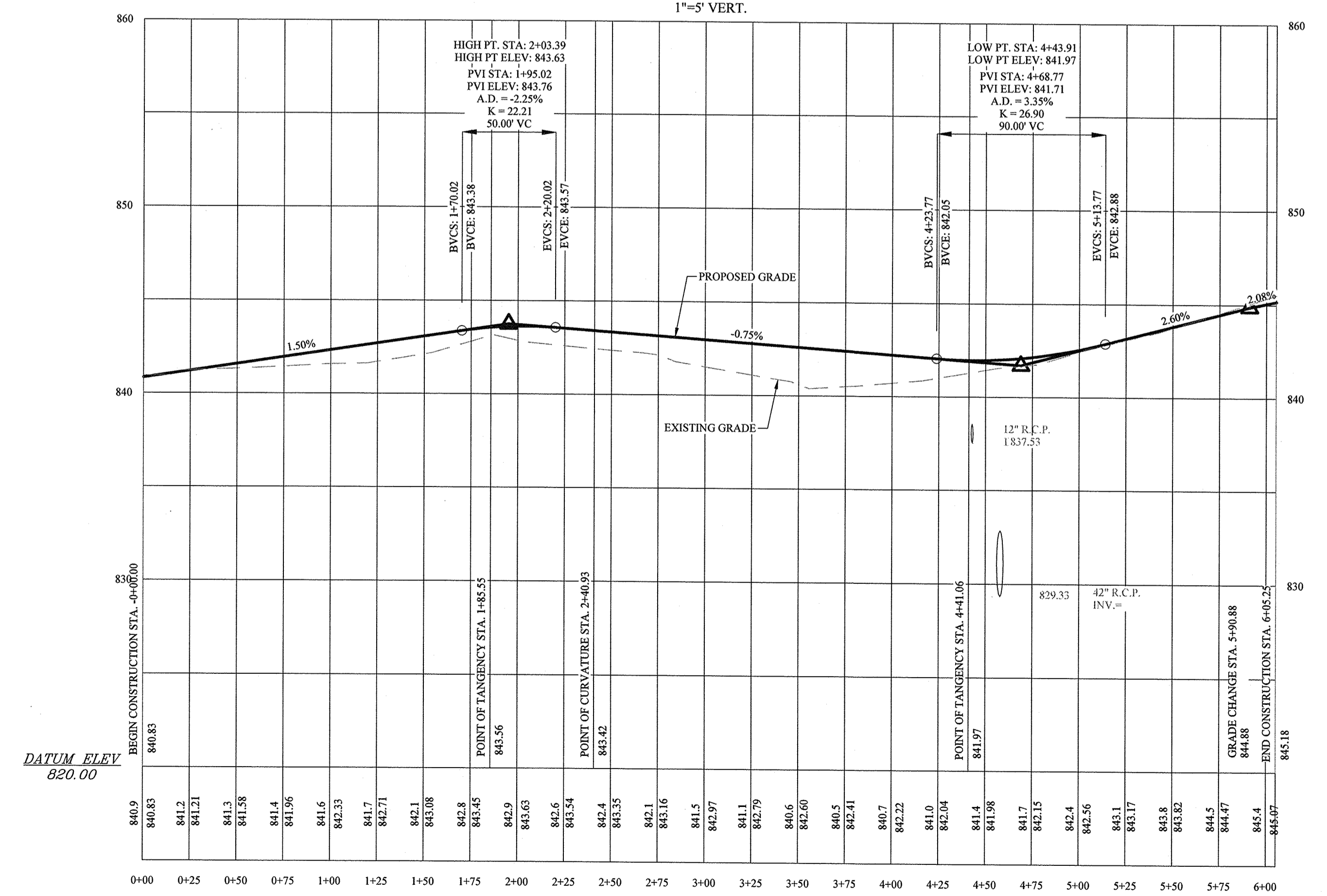
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STONEBLUFF LANE



SCALE: 1"=50' HOR.
 1"=5' VERT.

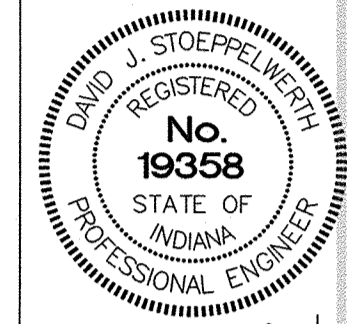


CHERRY GROVE LANE

NOTE:
 ANY AREA OF FILL GREATER THAN THREE (3) FEET
 REQUIRES THIRD PARTY TESTING. TEST RESULTS MUST BE
 PROVIDED TO ENGINEERING FOR REVIEW PRIOR TO LIME
 STABILIZATION.

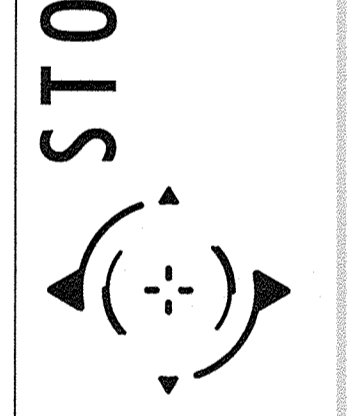
RECORD DRAWING

Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



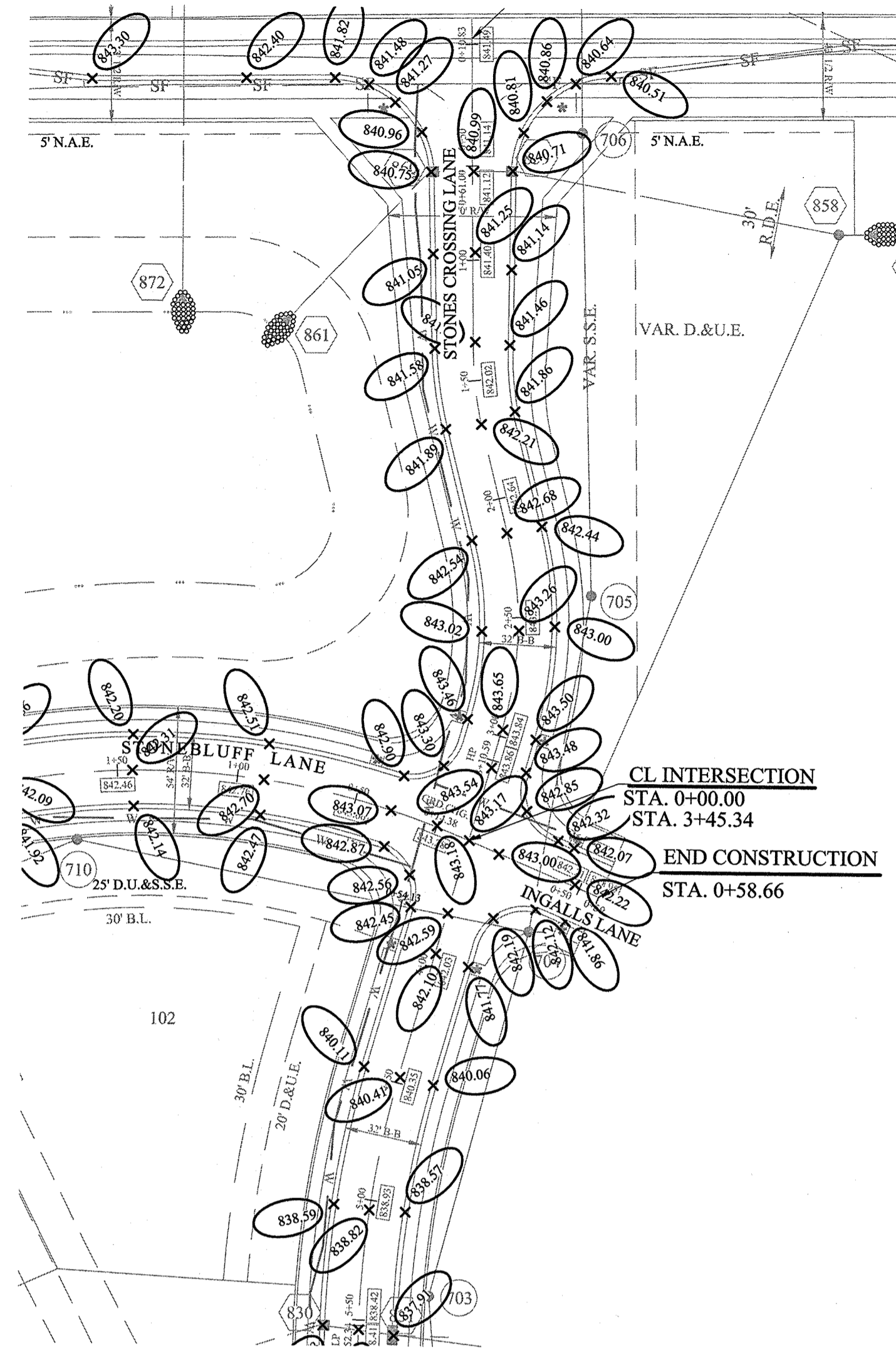
CERTIFIED: 11/16/16
 David J. Stoppelwerth

STOEPPELWERTH
 ALWAYS ON
 7965 East 10th Street, Fishers, IN 46038-2505
 phone: 317.849.5955 fax: 317.849.5942

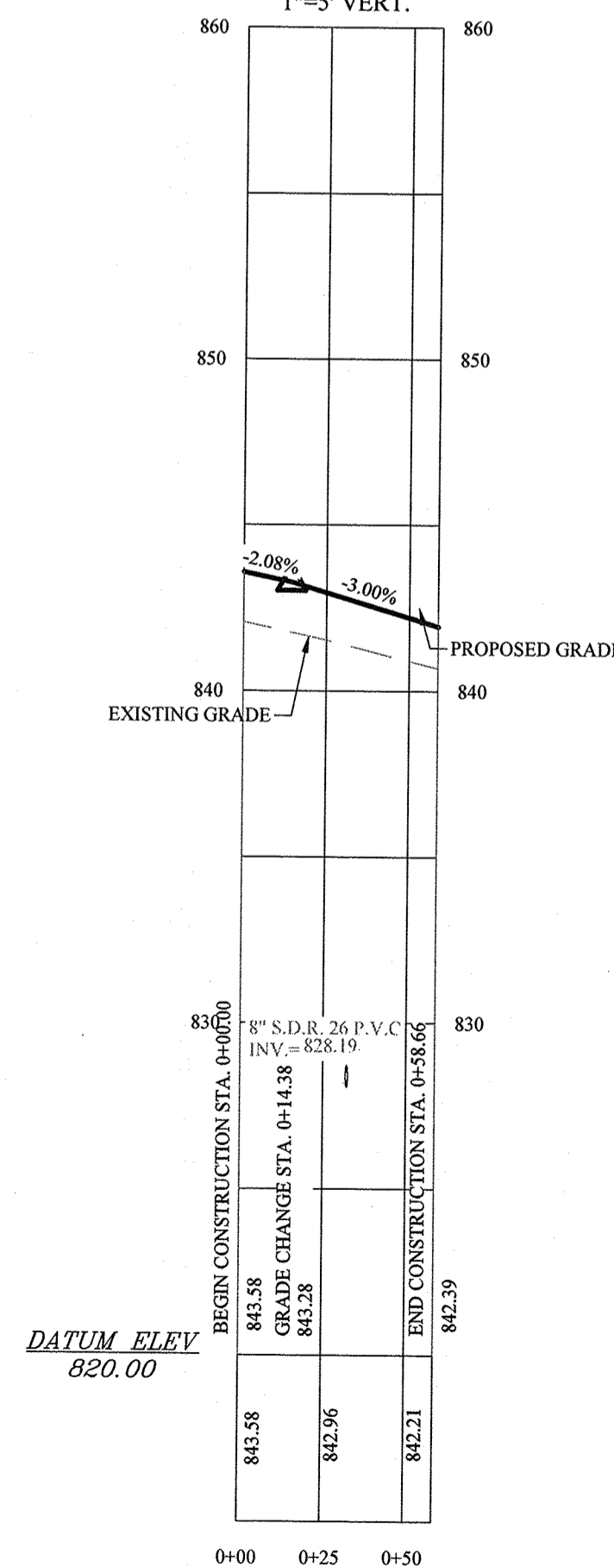


STREET PLAN & PROFILE
CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP
 HAMILTON COUNTY, INDIANA

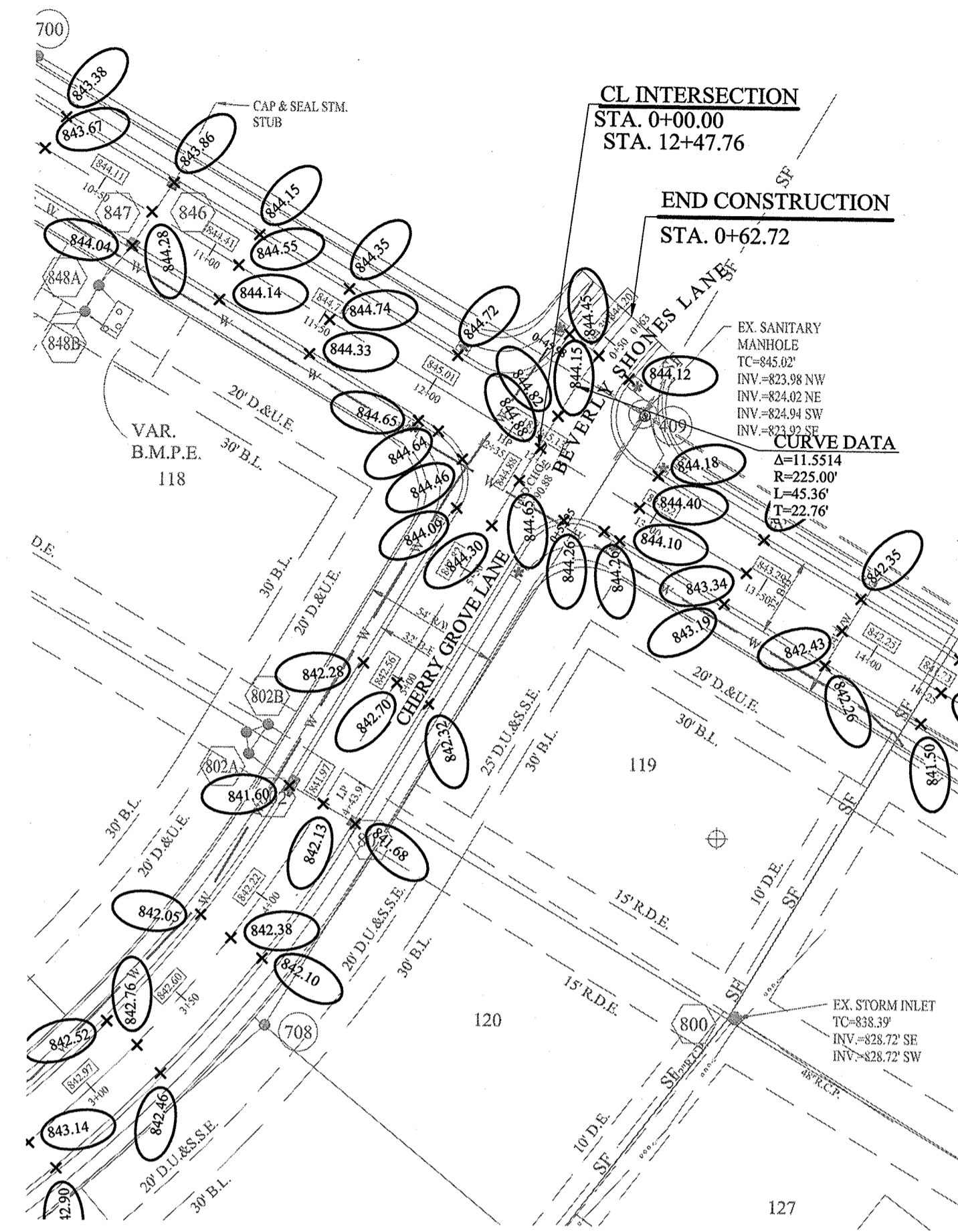
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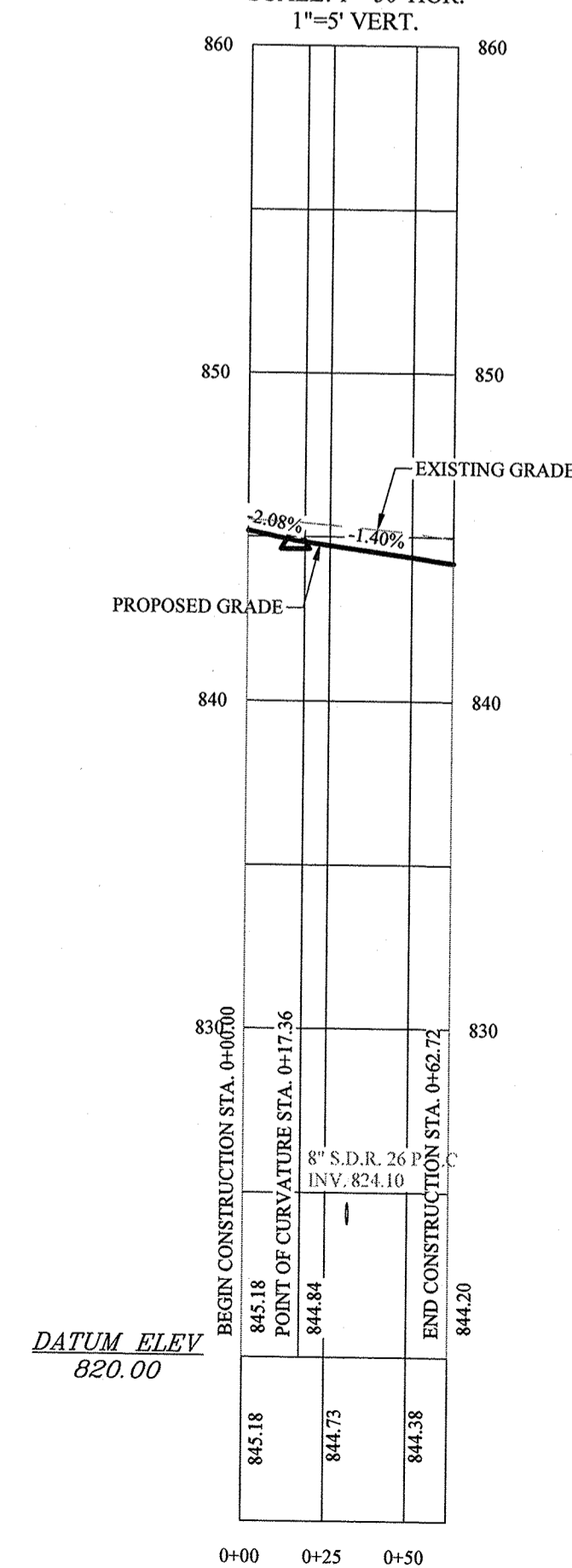
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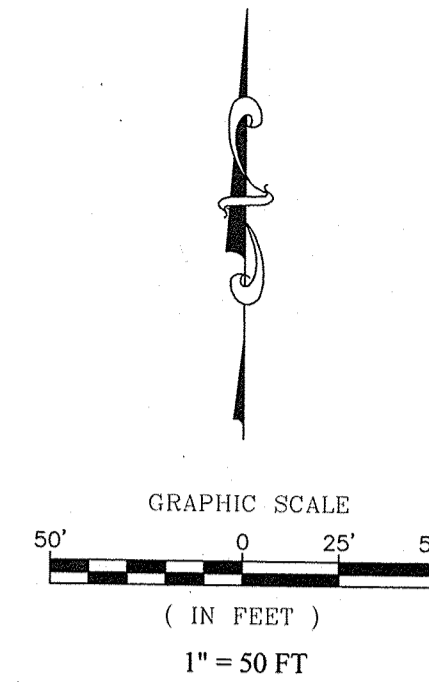
INGALLS LANE



SCALE: 1"=50' HOR.
1"=5' VERT.



BEVERLY SHONES LANE

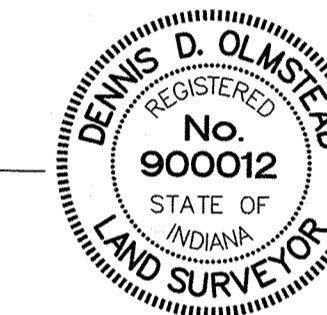


NOTE:

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REQUIRES THIRD PARTY TESTING. TEST RESULTS MUST BE
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STABILIZATION.

RECORD DRAWING

D.O.
Dennis D. Olmstead
Registered Land Surveyor
No. 900012
11/16/2017



DATE	MARK	REVISIONS	BY
11/16/17		AS BUILT	JAW
03/15/17		REVISED PER TAC COMMENTS	PKR
12/28/16		REVISED PER TAC COMMENTS	PKR

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR SURVEY OF A SURVEYOR'S LOCATION REPORT.

CERTIFIED: 11/16/16

Daniel J. Stoepfel
DANIEL J. STOEPELWERTH
REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA

STOEPELWERTH

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STREET PLAN & PROFILE

CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE

SECTION TWO

NOBLESVILLE, WAYNE TOWNSHIP
HAMILTON COUNTY, INDIANA

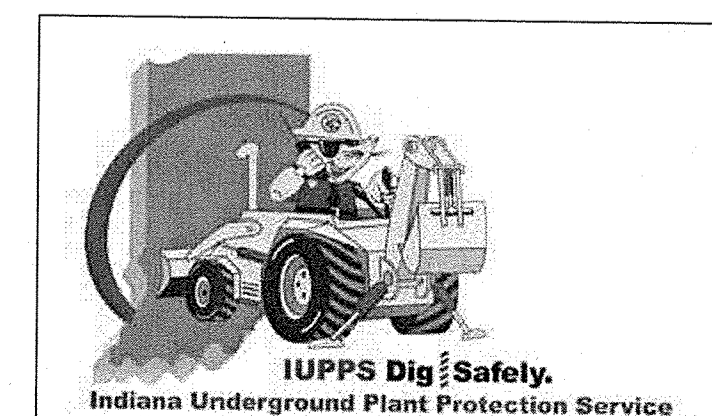
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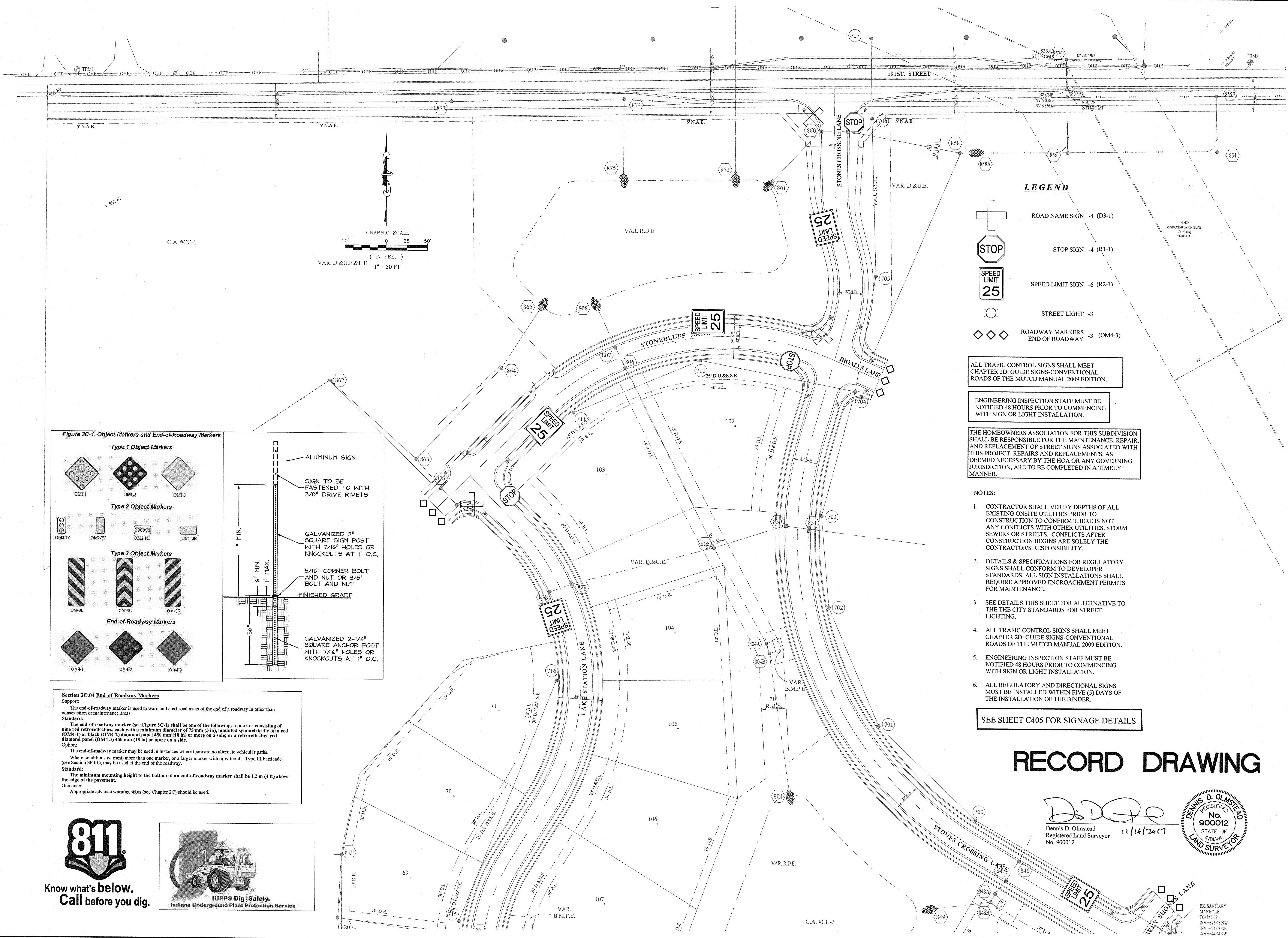
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Know what's below.
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 Modified / By: November 15, 2017 1:15:10 PM / jwillis
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LEGEND

- ROAD NAME SIGN -4 (D3-1)
- STOP SIGN -4 (R1-1)
- SPEED LIMIT SIGN -6 (R2-1)
- STREET LIGHT -3
- ROADWAY MARKERS -3 (OM4-3)

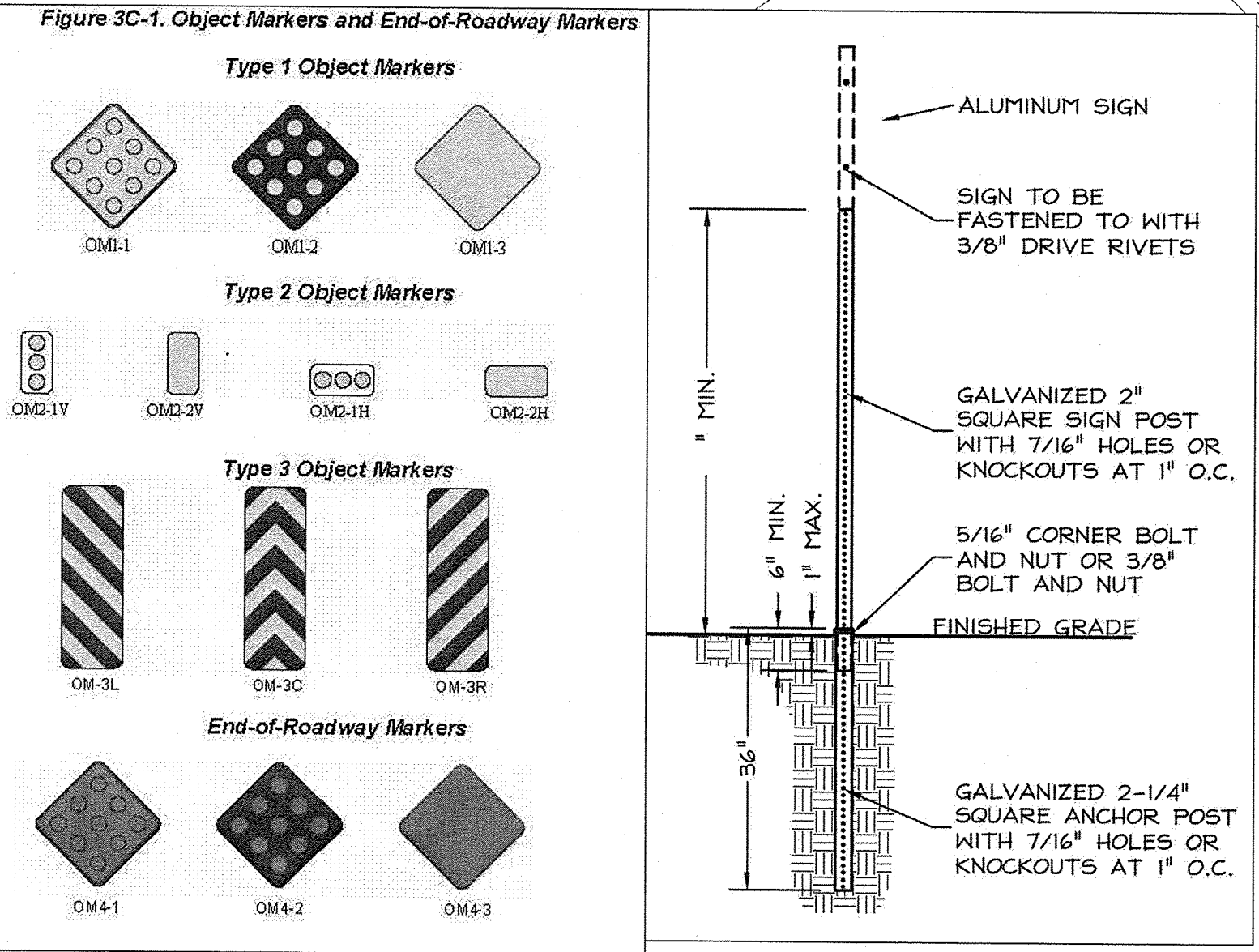
ALL TRAFFIC CONTROL SIGNS SHALL MEET CHAPTER 2D: GUIDE SIGNS-CONVENTIONAL ROADS OF THE MUTCD MANUAL 2009 EDITION.

ENGINEERING INSPECTION STAFF MUST BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH SIGN OR LIGHT INSTALLATION.

THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF STREET SIGNS ASSOCIATED WITH THIS PROJECT. REPAIRS AND REPLACEMENTS, AS DEEMED NECESSARY BY THE HOA OR ANY GOVERNING JURISDICTION, ARE TO BE COMPLETED IN A TIMELY MANNER.

- NOTES:
- CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - DETAILS & SPECIFICATIONS FOR REGULATORY SIGNS SHALL CONFORM TO DEVELOPER STANDARDS. ALL SIGN INSTALLATIONS SHALL REQUIRE APPROVED ENCROACHMENT PERMITS FOR MAINTENANCE.
 - SEE DETAILS THIS SHEET FOR ALTERNATIVE TO THE CITY STANDARDS FOR STREET LIGHTING.
 - ALL TRAFFIC CONTROL SIGNS SHALL MEET CHAPTER 2D: GUIDE SIGNS-CONVENTIONAL ROADS OF THE MUTCD MANUAL 2009 EDITION.
 - ENGINEERING INSPECTION STAFF MUST BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH SIGN OR LIGHT INSTALLATION.
 - ALL REGULATORY AND DIRECTIONAL SIGNS MUST BE INSTALLED WITHIN FIVE (5) DAYS OF THE INSTALLATION OF THE BINDER.

SEE SHEET C405 FOR SIGNAGE DETAILS



Section 3C.04 End-of-Roadway Markers

Support:
 The end-of-roadway marker is used to warn and alert road users of the end of a roadway in other than construction or maintenance areas.

Standard:
 The end-of-roadway marker (see Figure 3C-1) shall be one of the following: a marker consisting of nine red retroreflectors, each with a minimum diameter of 75 mm (3 in), mounted symmetrically on a red (OM4-1) or black (OM4-2) diamond panel 450 mm (18 in) or more on a side; or a retroreflective red diamond panel (OM4-3) 450 mm (18 in) or more on a side.

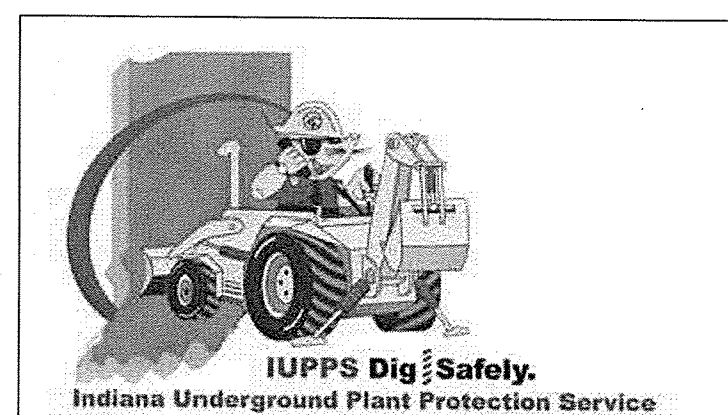
Option:
 The end-of-roadway marker may be used in instances where there are no alternate vehicular paths. Where conditions warrant, more than one marker, or a larger marker with or without a Type III barricade (see Section 3F.01), may be used at the end of the roadway.

Standard:
 The minimum mounting height to the bottom of an end-of-roadway marker shall be 1.2 m (4 ft) above the edge of the pavement.

Guidance:
 Appropriate advance warning signs (see Chapter 2C) should be used.



Know what's below.
 Call before you dig.



RECORD DRAWING

D. Olmstead
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



STOEPPELWERTH
 ALWAYS ON
 7965 Eon 106th Street, Fishers, IN 46038-2905
 Phone: 317.949.9955 Fax: 317.949.9942

TRAFFIC CONTROL PLAN
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP, HAMILTON COUNTY, INDIANA

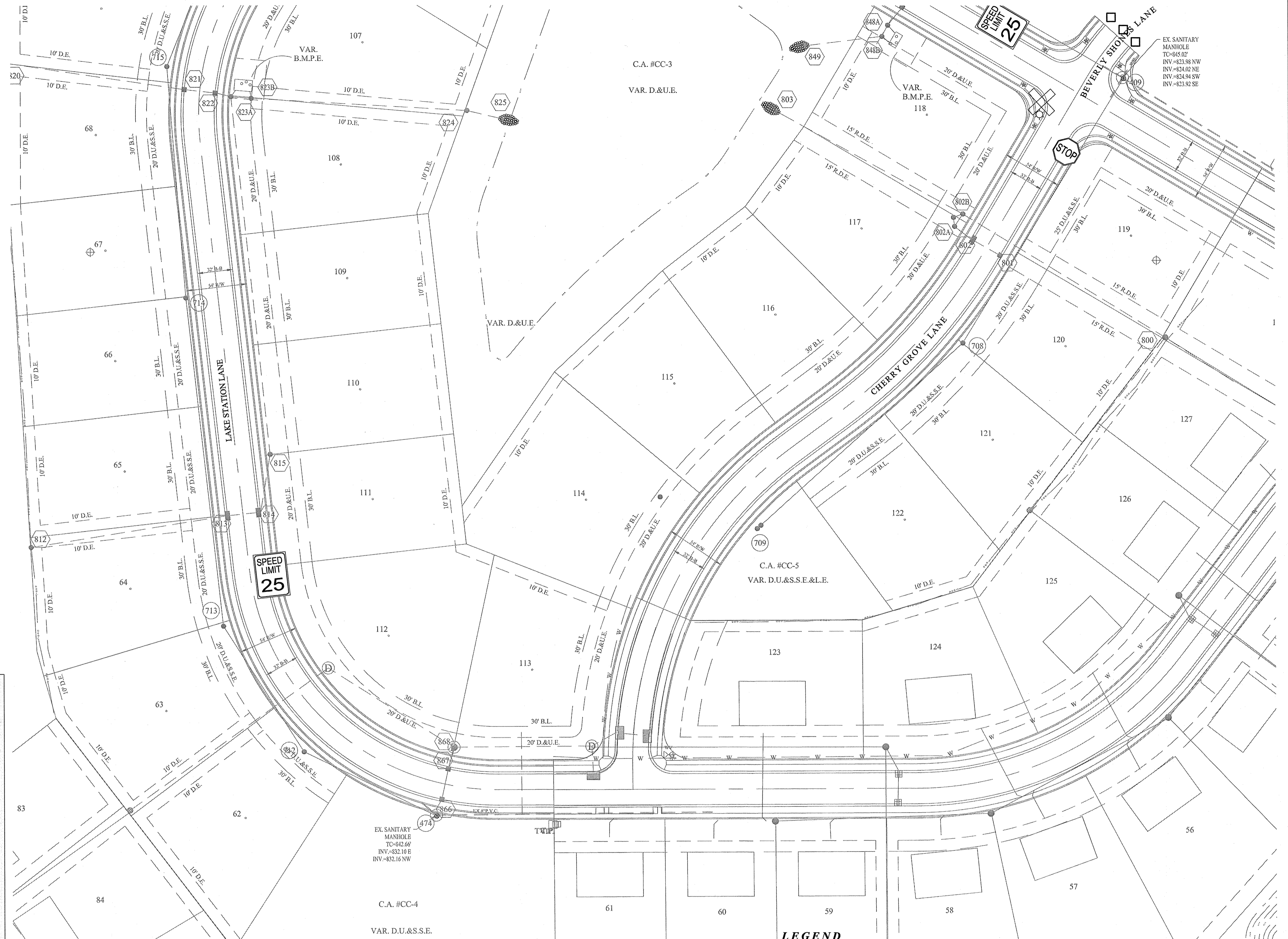
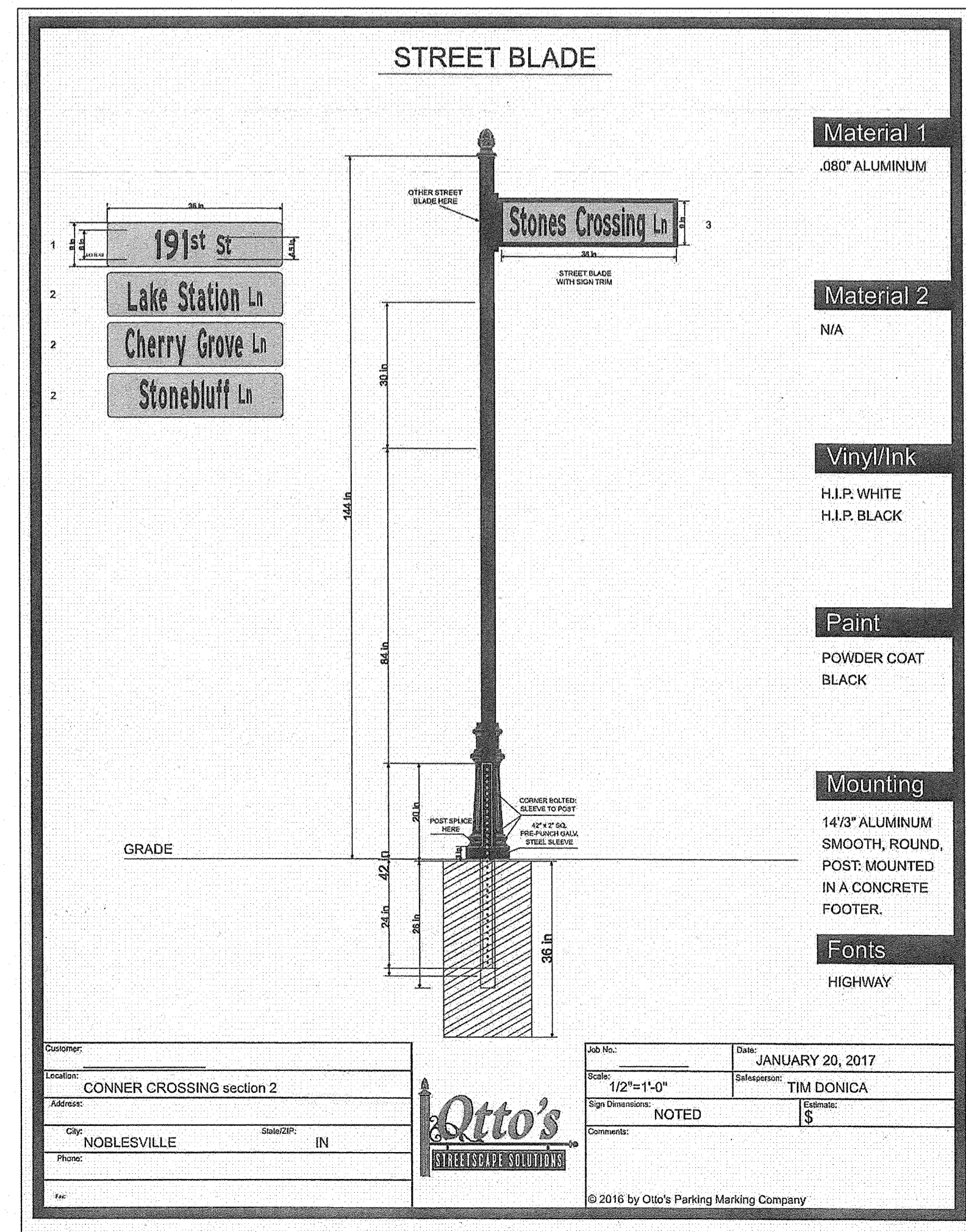
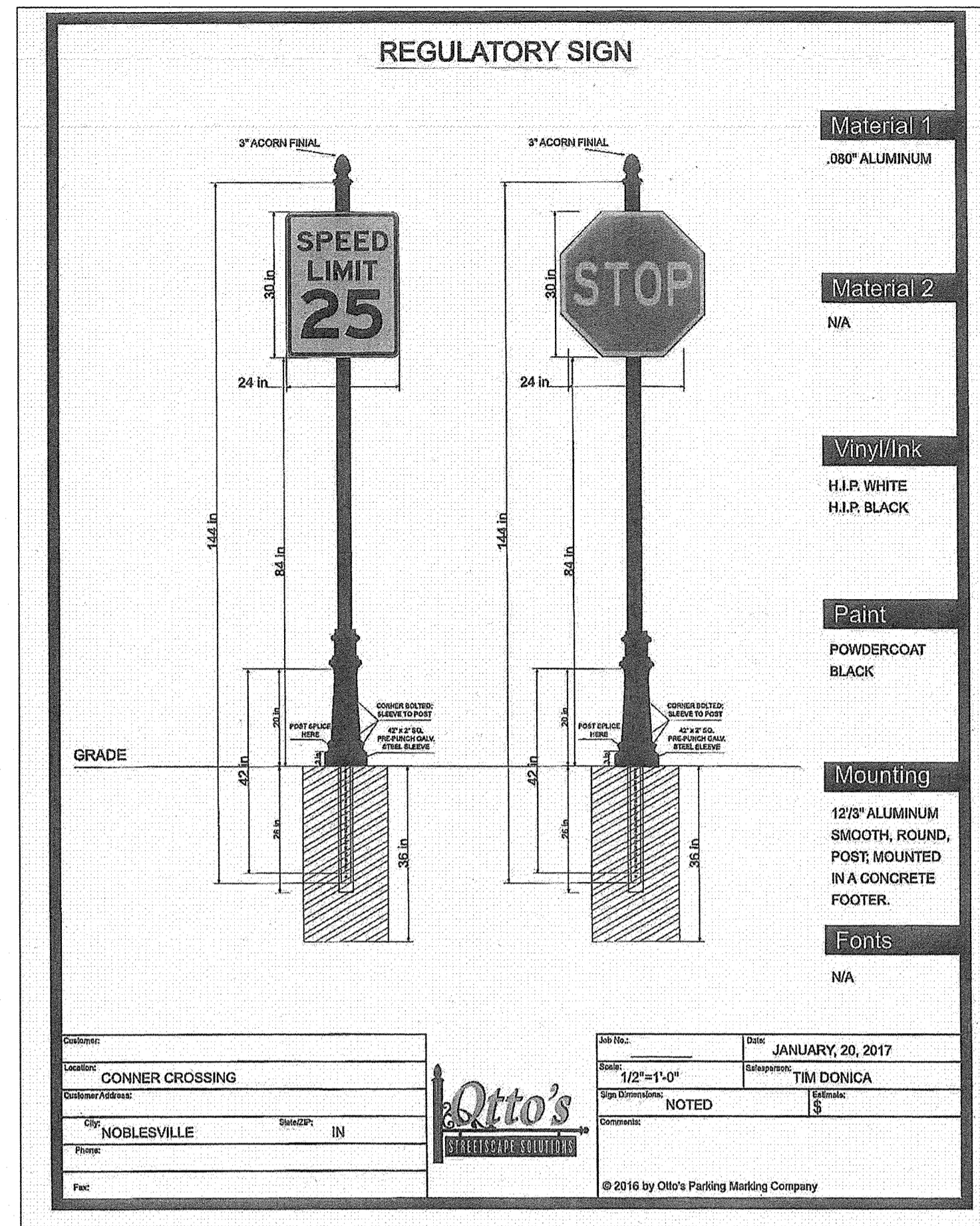
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09/13/17		REVISED PER TAC COMMENTS	PJR
12/28/16		REVISED PER TAC COMMENTS	PJR/ADG

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stappeler
 CERTIFIED: 11/16/16

THIS DRAWING IS NOT INTENDED TO BE ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

DRAWN BY: JSW
 CHECKED BY: BAH
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 S & A JOB NO: 75744CAL-S2

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RECORD DRAWING

Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



STOEPPELWERTH
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoeppele
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 7045 East 100th Street, Fishers, IN 46038-2505
 phone: 317.846.5935 fax: 317.846.5942

TRAFFIC CONTROL PLAN
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 HAMILTON COUNTY, INDIANA
 WAYNE TOWNSHIP
 NOBLESVILLE, INDIANA

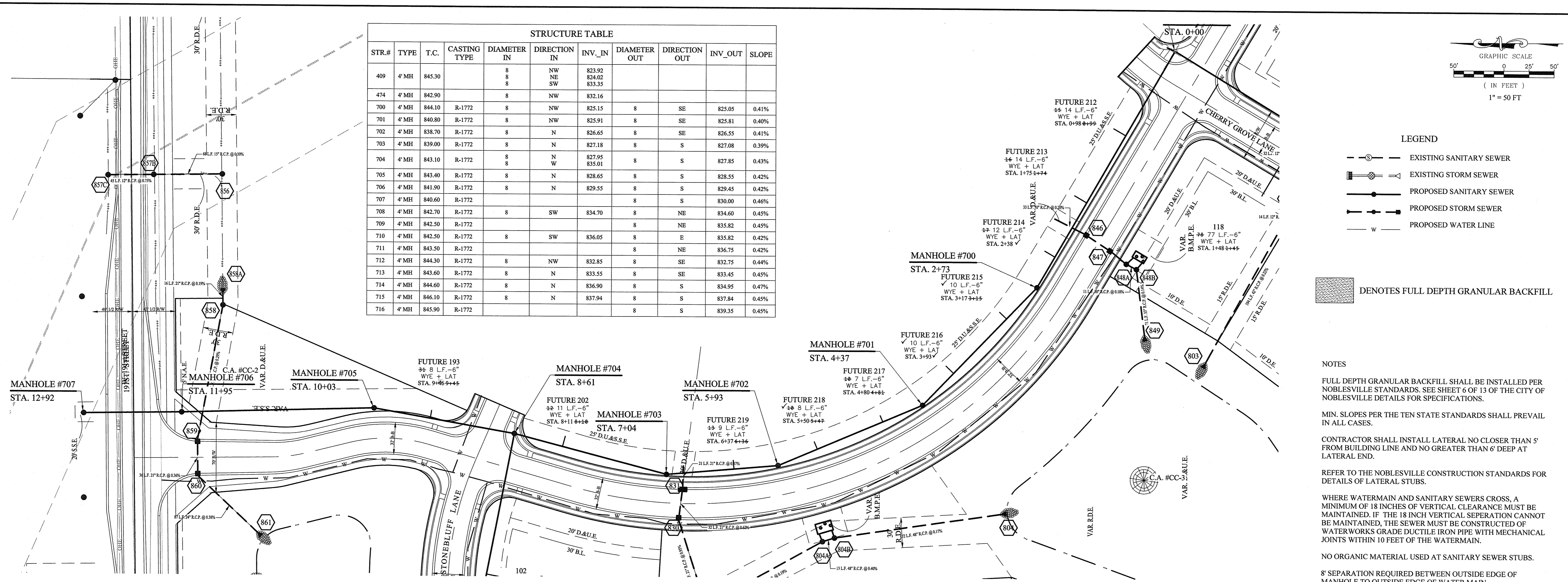
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AS BUILT		
JAW		
FOR		
PROJECT		
BY		

Drawn by: JSW
 Checked by: BAH
 SHEET NO. **C405**
 S & A JOB NO. 75744CAL-S2

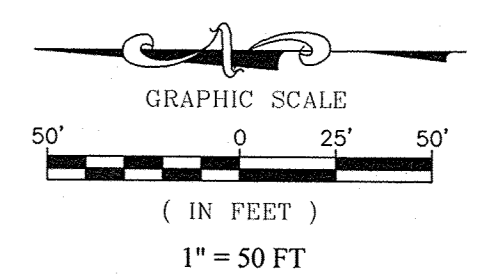
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STR.#	TYPE	T.C.	CASTING TYPE	DIAMETER IN	DIRECTION IN	INV_IN	DIAMETER OUT	DIRECTION OUT	INV_OUT	SLOPE
409	4' MH	845.30		8	NW	823.92				
				8	NE	824.02				
				8	SW	833.35				
474	4' MH	842.90		8	NW	832.16				
700	4' MH	844.10	R-1772	8	NW	825.15	8	SE	825.05	0.41%
701	4' MH	840.80	R-1772	8	NW	825.91	8	SE	825.81	0.40%
702	4' MH	838.70	R-1772	8	N	826.65	8	SE	826.55	0.41%
703	4' MH	839.00	R-1772	8	N	827.18	8	S	827.08	0.39%
704	4' MH	843.10	R-1772	8	N	827.95	8	S	827.85	0.43%
				8	W	835.01				
705	4' MH	843.40	R-1772	8	N	828.65	8	S	828.55	0.42%
706	4' MH	841.90	R-1772	8	N	829.55	8	S	829.45	0.42%
707	4' MH	840.60	R-1772				8	S	830.00	0.46%
708	4' MH	842.70	R-1772	8	SW	834.70	8	NE	834.60	0.45%
709	4' MH	842.50	R-1772	8	SW	835.82	8	NE	835.62	0.45%
710	4' MH	842.50	R-1772	8	SW	836.05	8	E	835.82	0.42%
711	4' MH	843.50	R-1772	8	N	836.75	8	NE	836.75	0.42%
712	4' MH	844.30	R-1772	8	NW	832.85	8	SE	832.75	0.44%
713	4' MH	843.60	R-1772	8	N	833.55	8	SE	833.45	0.45%
714	4' MH	844.60	R-1772	8	N	836.90	8	S	834.95	0.47%
715	4' MH	846.10	R-1772	8	N	837.94	8	S	837.84	0.45%
716	4' MH	845.90	R-1772	8	N	839.35	8	S	839.35	0.45%

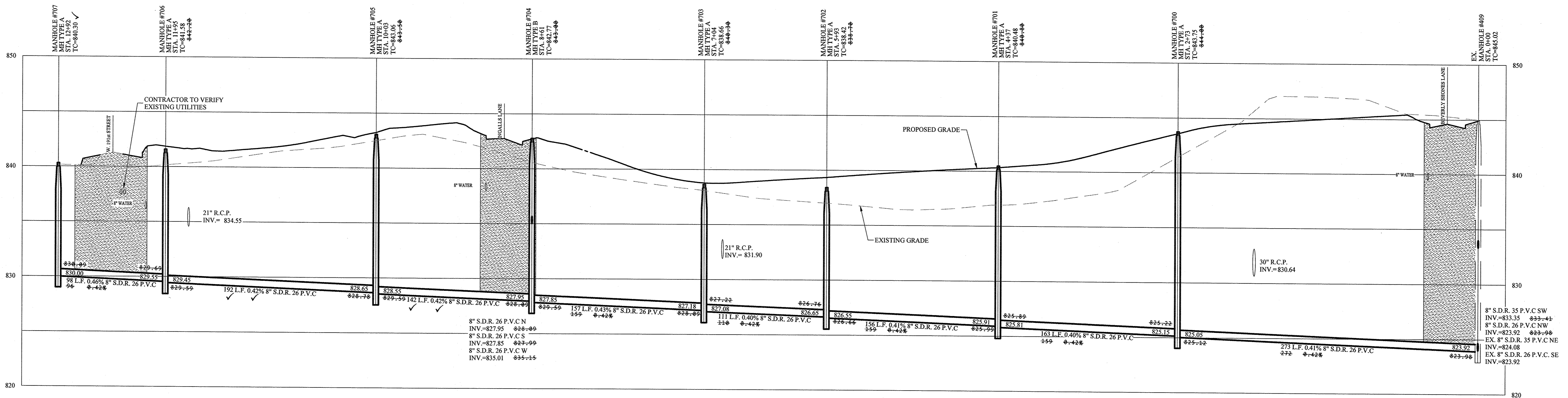


- LEGEND**
- EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - W — PROPOSED WATER LINE

■ DENOTES FULL DEPTH GRANULAR BACKFILL

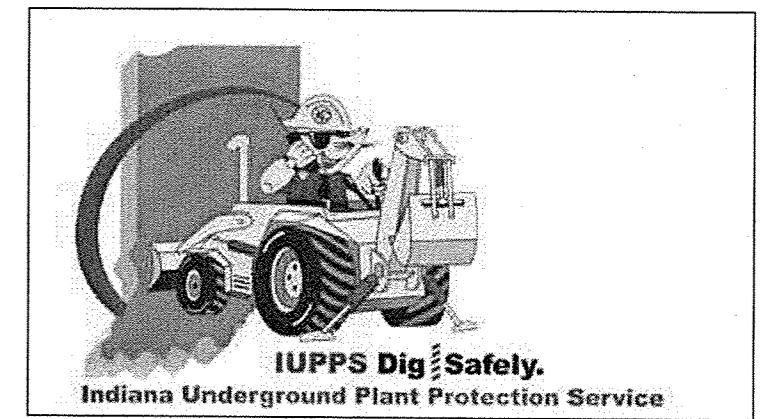
- NOTES**
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 6 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
 - MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
 - CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.
 - REFER TO THE NOBLESVILLE CONSTRUCTION STANDARDS FOR DETAILS OF LATERAL STUBS.
 - WHERE WATERMAIN AND SANITARY SEWERS CROSS, A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE MUST BE MAINTAINED. IF THE 18 INCH VERTICAL SEPERATION CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS WITHIN 10 FEET OF THE WATERMAIN.
 - NO ORGANIC MATERIAL USED AT SANITARY SEWER STUBS.
 - 8" SEPERATION REQUIRED BETWEEN OUTSIDE EDGE OF MANHOLE TO OUTSIDE EDGE OF WATER MAIN.

SCALE: 1"=50' HOR.
 1"=5' VERT.



RECORD DRAWING

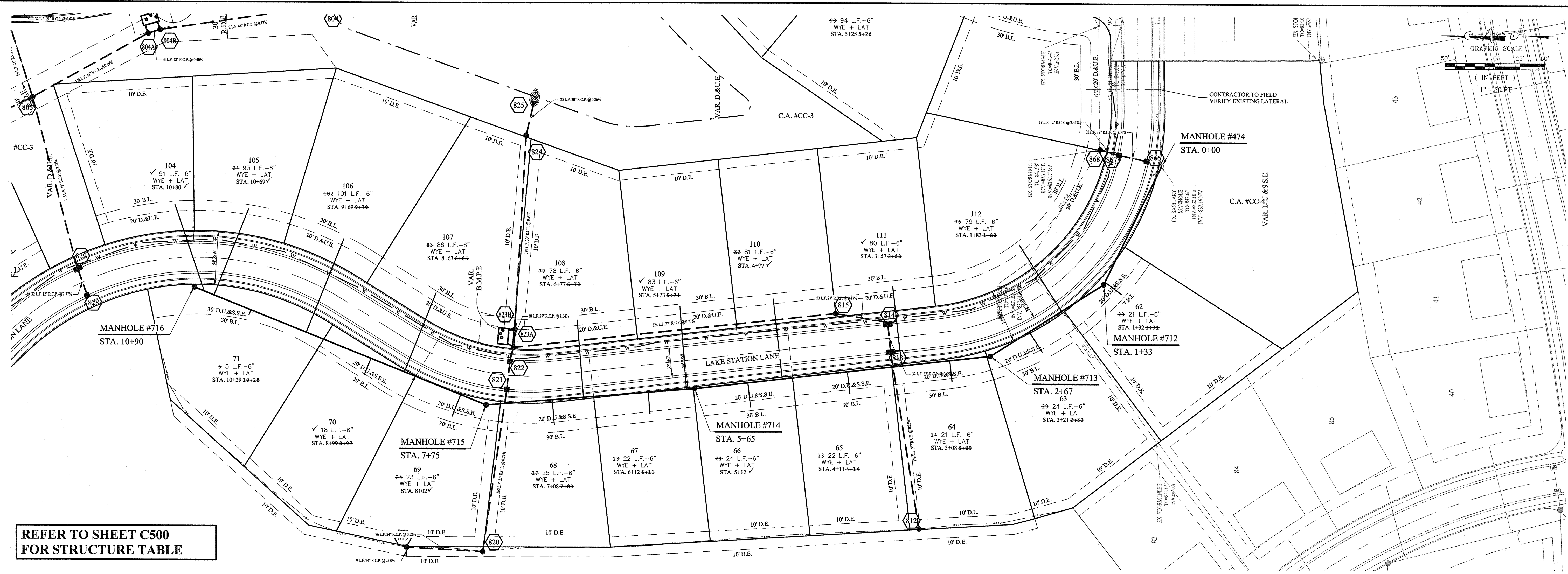
D. D. Olmstead
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



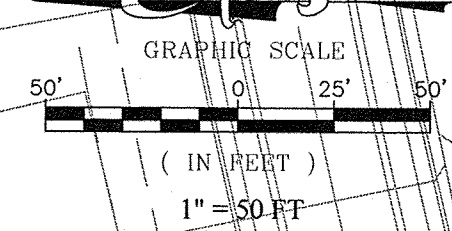
STOEPPELWERTH
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 CERTIFIED: 11/16/16
 David J. Stoepelwerth

SANITARY SEWER PLAN & PROFILE
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: JSW CHECKED BY: BAH
 SHEET NO: C500
 S.E.A. JOB NO: 75744CAL-S2



REFER TO SHEET C500 FOR STRUCTURE TABLE



- LEGEND**
- EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES

FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 6 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.

MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.

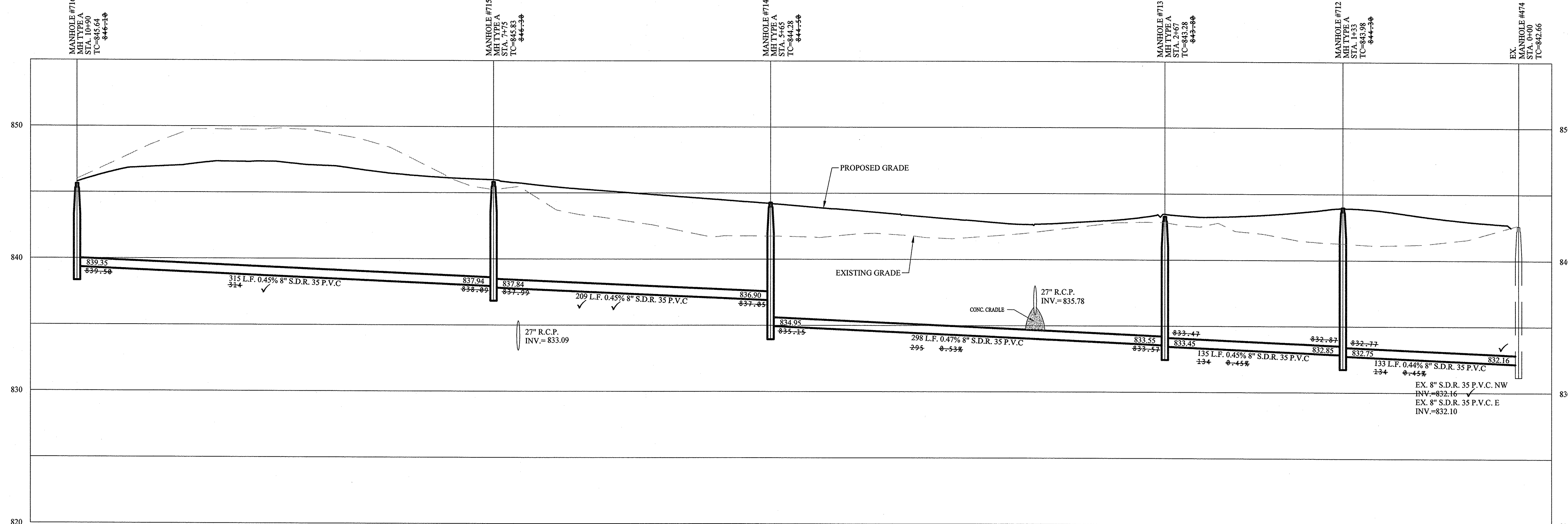
CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.

REFER TO THE NOBLESVILLE CONSTRUCTION STANDARDS FOR DETAILS OF LATERAL STUBS.

WHERE WATERMAIN AND SANITARY SEWERS CROSS, A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE MUST BE MAINTAINED. IF THE 18 INCH VERTICAL SEPERATION CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS WITHIN 10 FEET OF THE WATERMAIN.

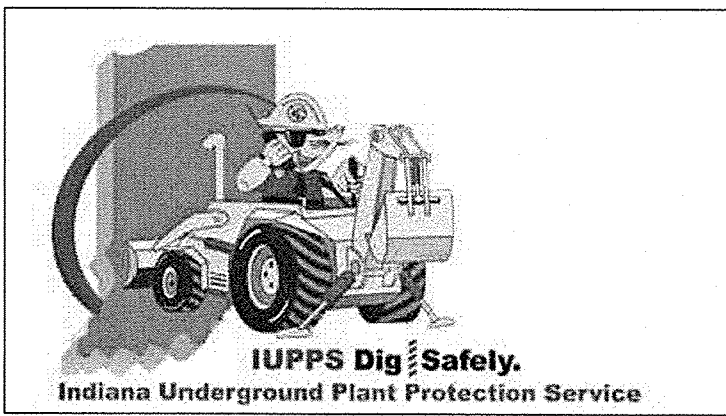
NO ORGANIC MATERIAL USED AT SANITARY SEWER STUBS.

5' SEPERATION REQUIRED BETWEEN OUTSIDE EDGE OF MANHOLE TO OUTSIDE EDGE OF WATER MAIN.



RECORD DRAWING

D.O.
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



STOEPPELWERTH
 AL WAYS ON
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 phone: 317.849.5955 fax: 317.849.5942

SANITARY SEWER PLAN & PROFILE
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP, HAMILTON COUNTY, INDIANA

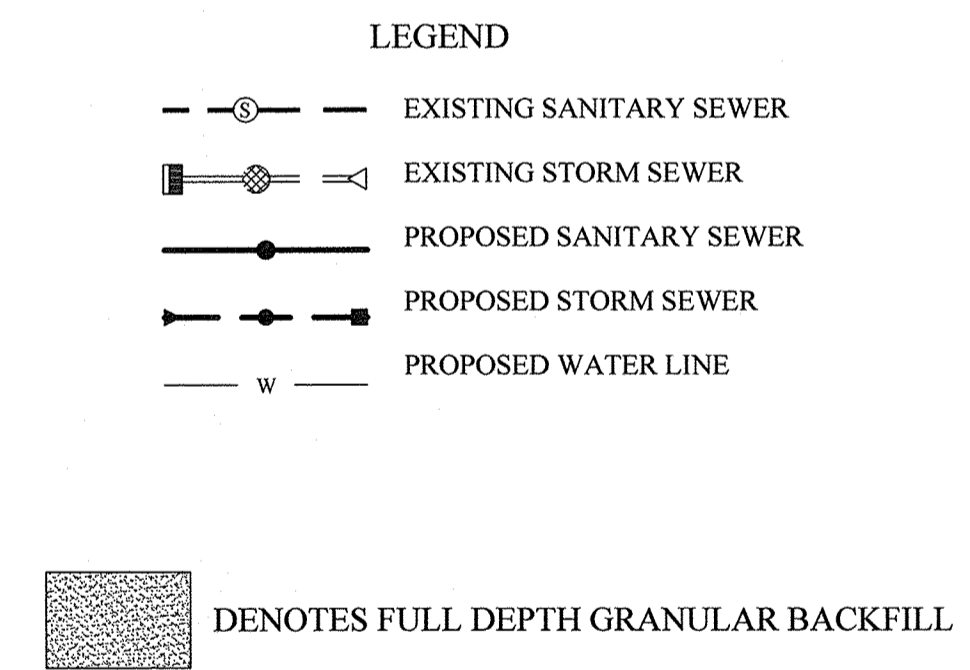
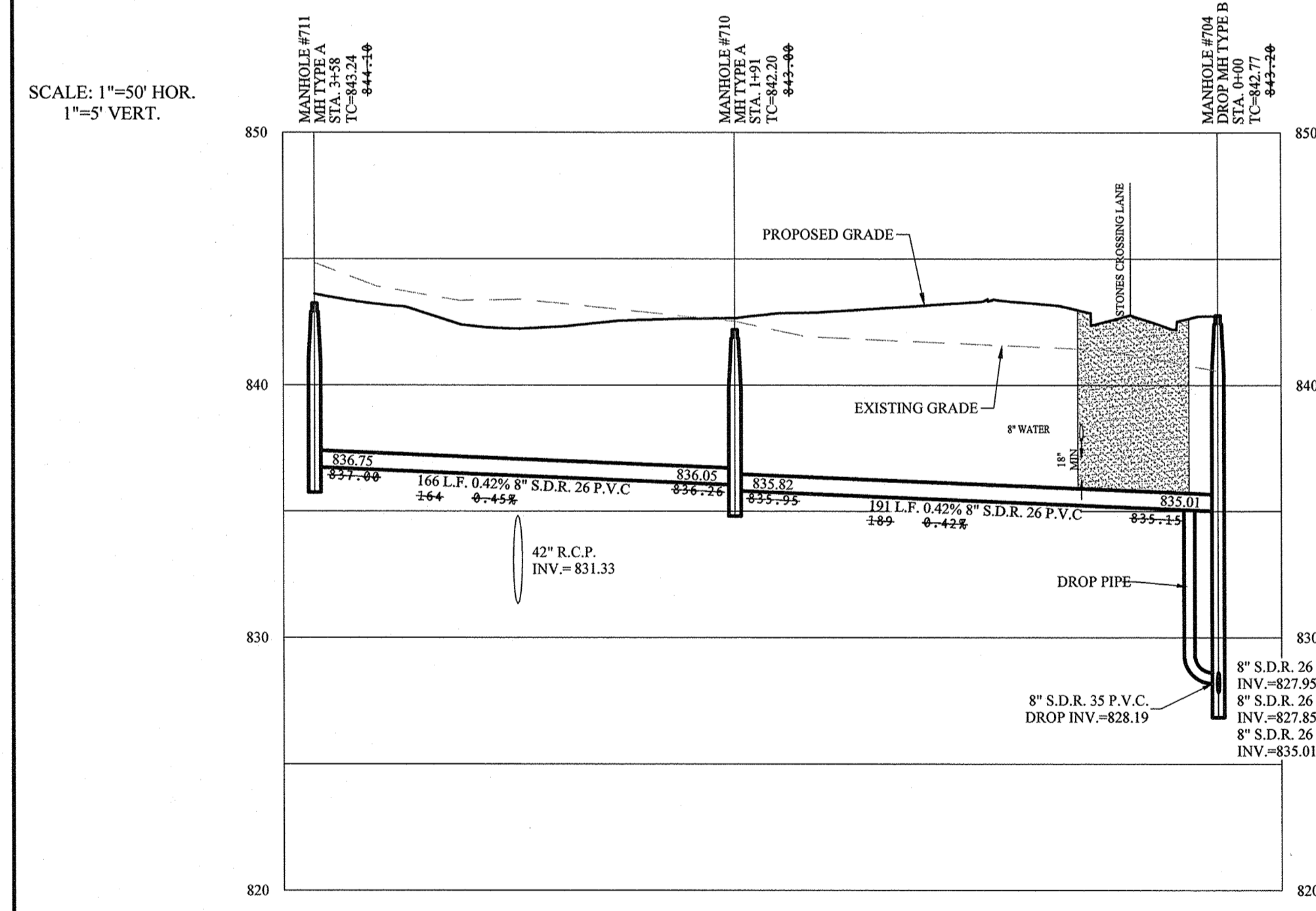
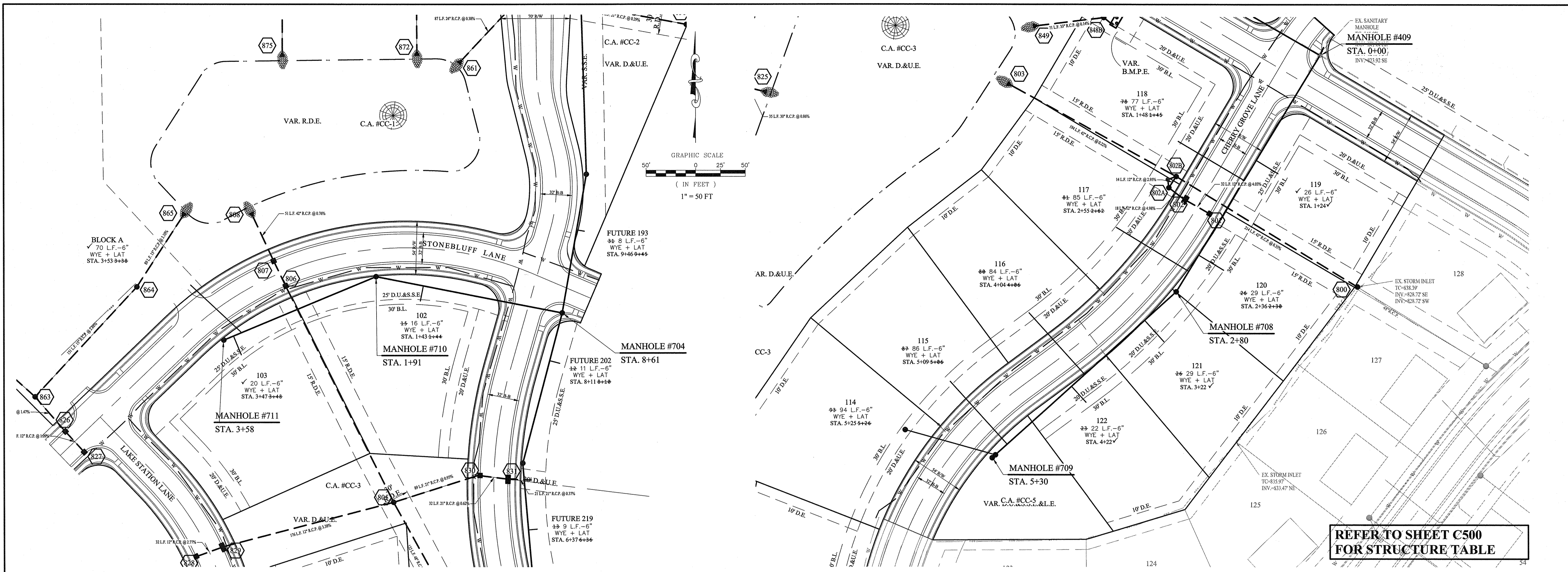
DATE	MARK	REVISIONS	BY
12/28/16		REVISED PER TAC COMMENTS	JAW
03/13/17		AS BUILTS	JAW
11/15/17		REVISED PER TAC COMMENTS	PDR
			PER/ADD

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFERENCE FOR CONSTRUCTION OF A SURVEY OR LOCATION REPORT.
 CERTIFIED: 11/16/16
Dennis D. Olmstead

Drawn By: JSW
 Checked By: BAH
 SHEET NO. **C501**
 S.E. AJOHNO
 75744CAL-S2

File Name: S:\17544CAL-S2\DWG\C500 Sanitary Sewer Plan & Profiles.dwg - C501
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 Plotted / By: November 16, 2017 8:57:21 AM / Jennifer Willis

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 Plotted / By: November 16, 2017 8:57:47 AM / Jemmiter Willis



NOTES

FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 6 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.

MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.

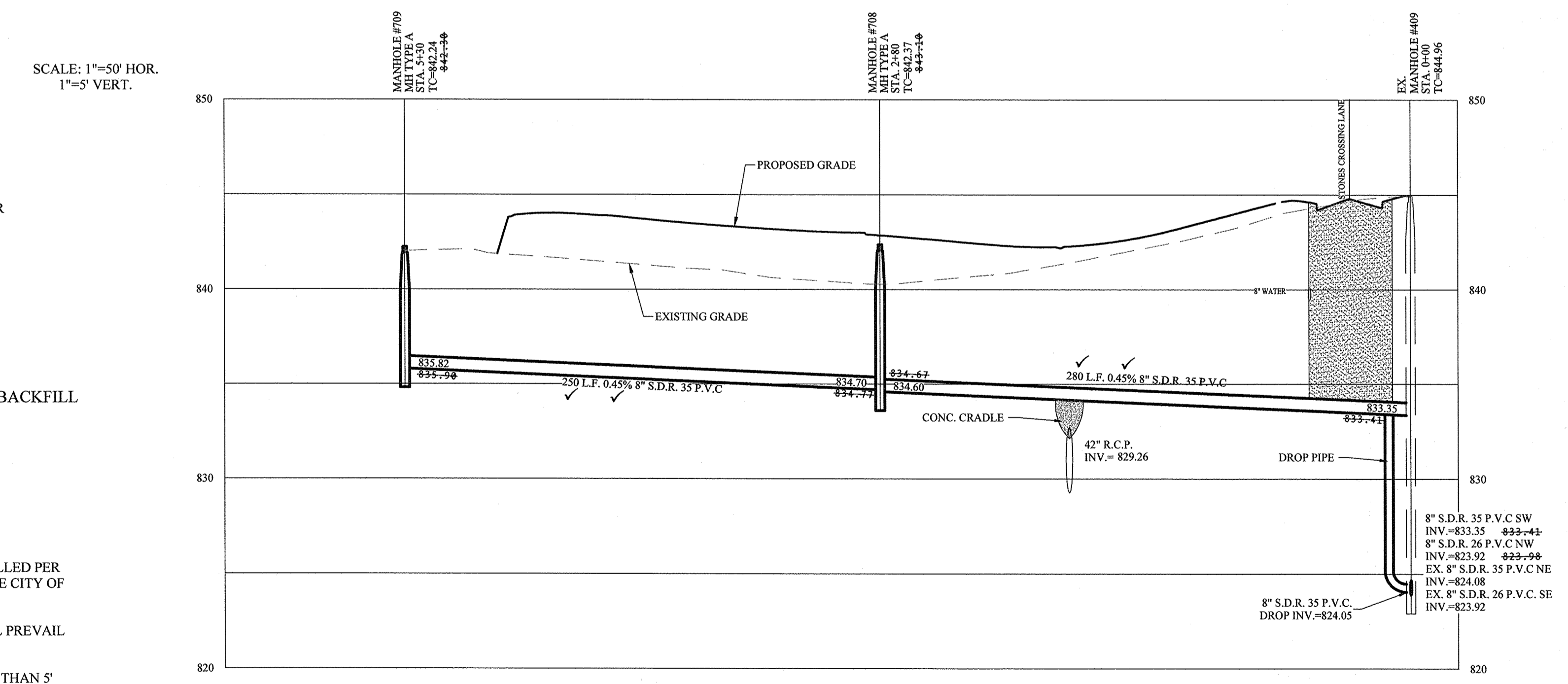
CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.

REFER TO THE NOBLESVILLE CONSTRUCTION STANDARDS FOR DETAILS OF LATERAL STUBS.

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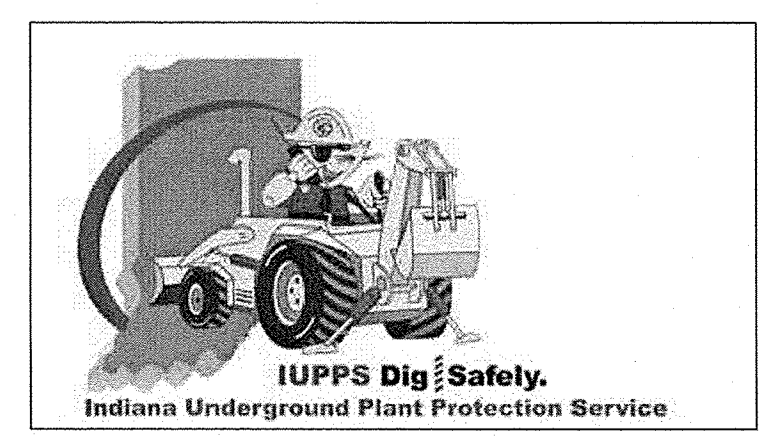
NO ORGANIC MATERIAL USED AT SANITARY SEWER STUBS.

8' SEPARATION REQUIRED BETWEEN OUTSIDE EDGE OF MANHOLE TO OUTSIDE EDGE OF WATER MAIN.



RECORD DRAWING

Dodge
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012

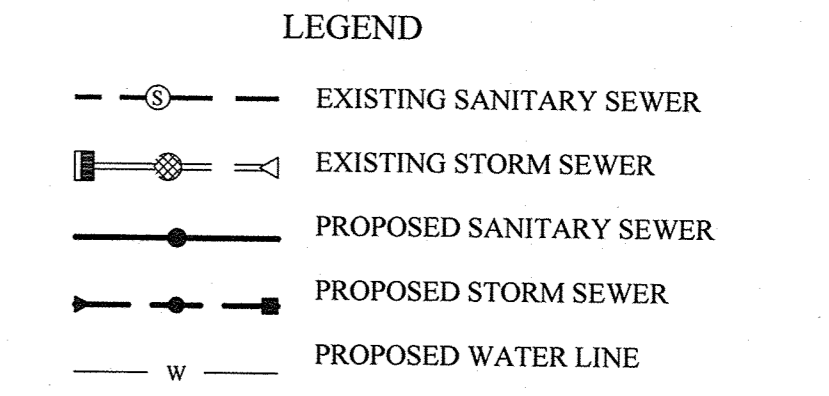


STOEPPELWERTH
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoepfelwirth
 CERTIFIED: 11/16/16
 7965 East 10th Street, Fishers, IN 46038-2905
 phone: 317.849.2935 fax: 317.849.2942

SANITARY SEWER PLAN & PROFILE
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP, HAMILTON COUNTY, INDIANA

DATE	MARK	REVISIONS
03/20/17		AWB/REPER TAC COMMENTS
03/17/17		REVISED PER TAC COMMENTS
12/23/16		REVISED PER TAC COMMENTS

DRAWN BY: JSW CHECKED BY: BAH
 SHEET NO: **C502**
 S & A JOB NO: 75744CAL-S2



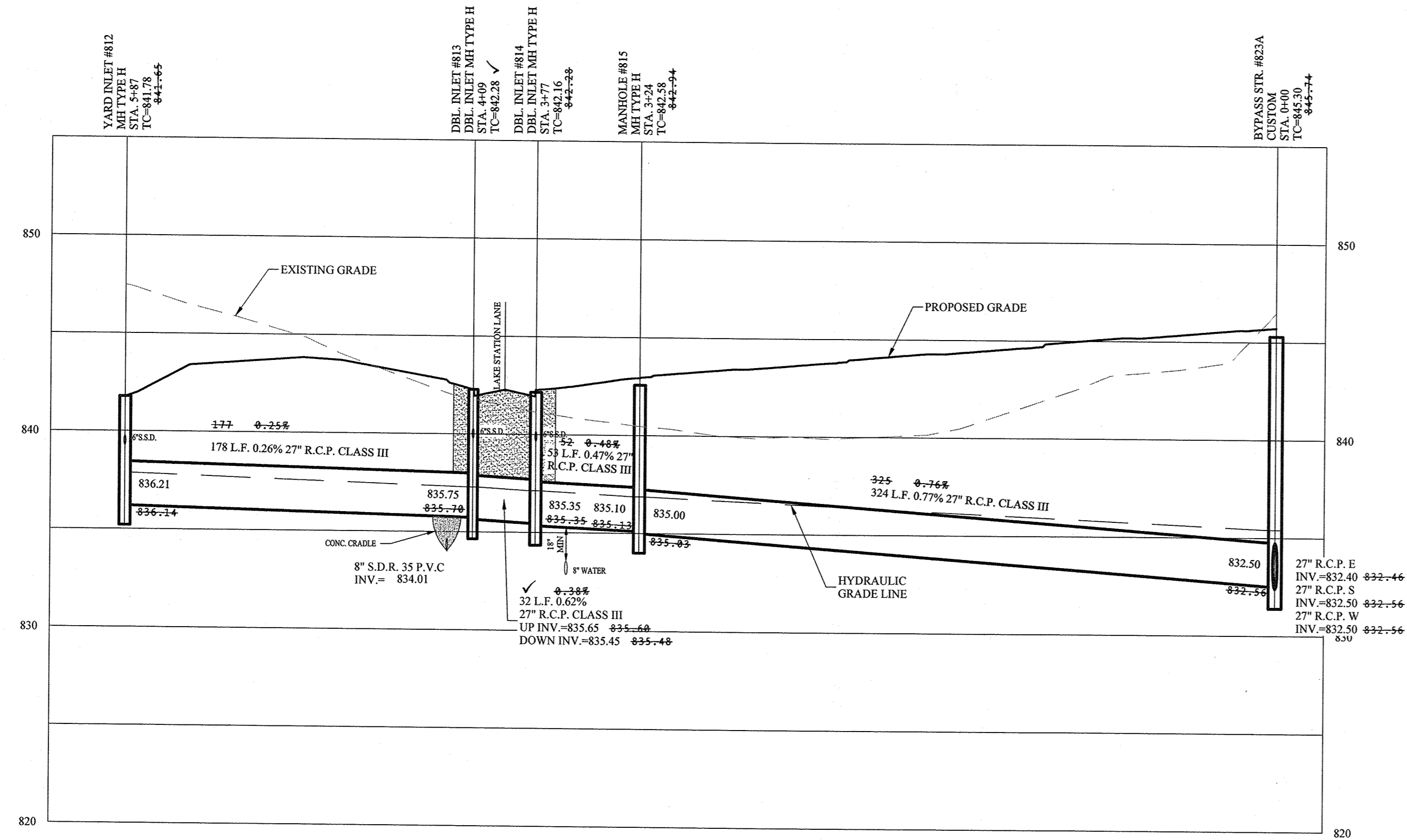
- NOTES:**
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 4 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - NO ORGANIC MATERIAL TO BE USED AT STORM SEWER STUBS.

NOTE:
 ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.

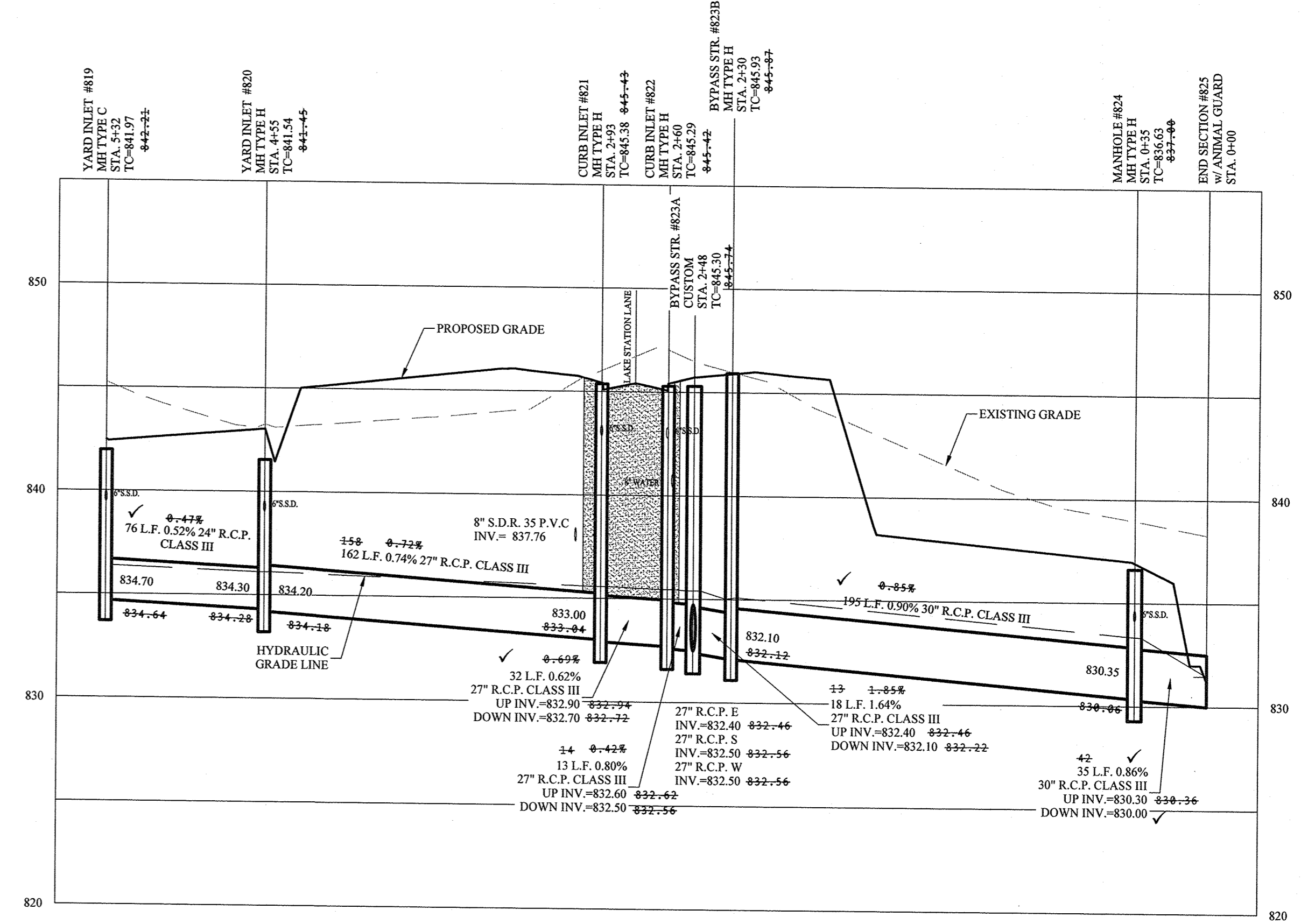
DATE	MARK	REVISIONS	BY
11/15/17		AS BUILT	JAW
03/13/17		REVISED PER TAC COMMENTS	PDR
12/28/16		REVISED PER TAC COMMENTS	PDR

STOEPPELWERTH
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
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 David J. Stoepfelwerth
 CERTIFIED: 11/16/16
 7965 East 10th Street, Fishers, IN 46038-2905
 phone: 317.849.5985 fax: 317.849.5942

SCALE: 1"=50' HOR.
 1"=5' VERT.



SCALE: 1"=50' HOR.
 1"=5' VERT.

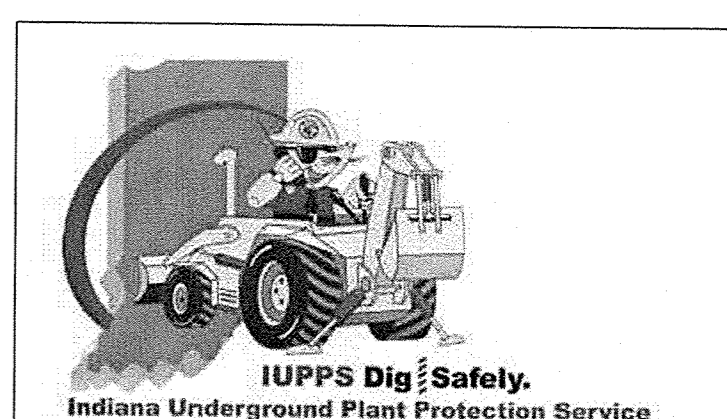


RECORD DRAWING

Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



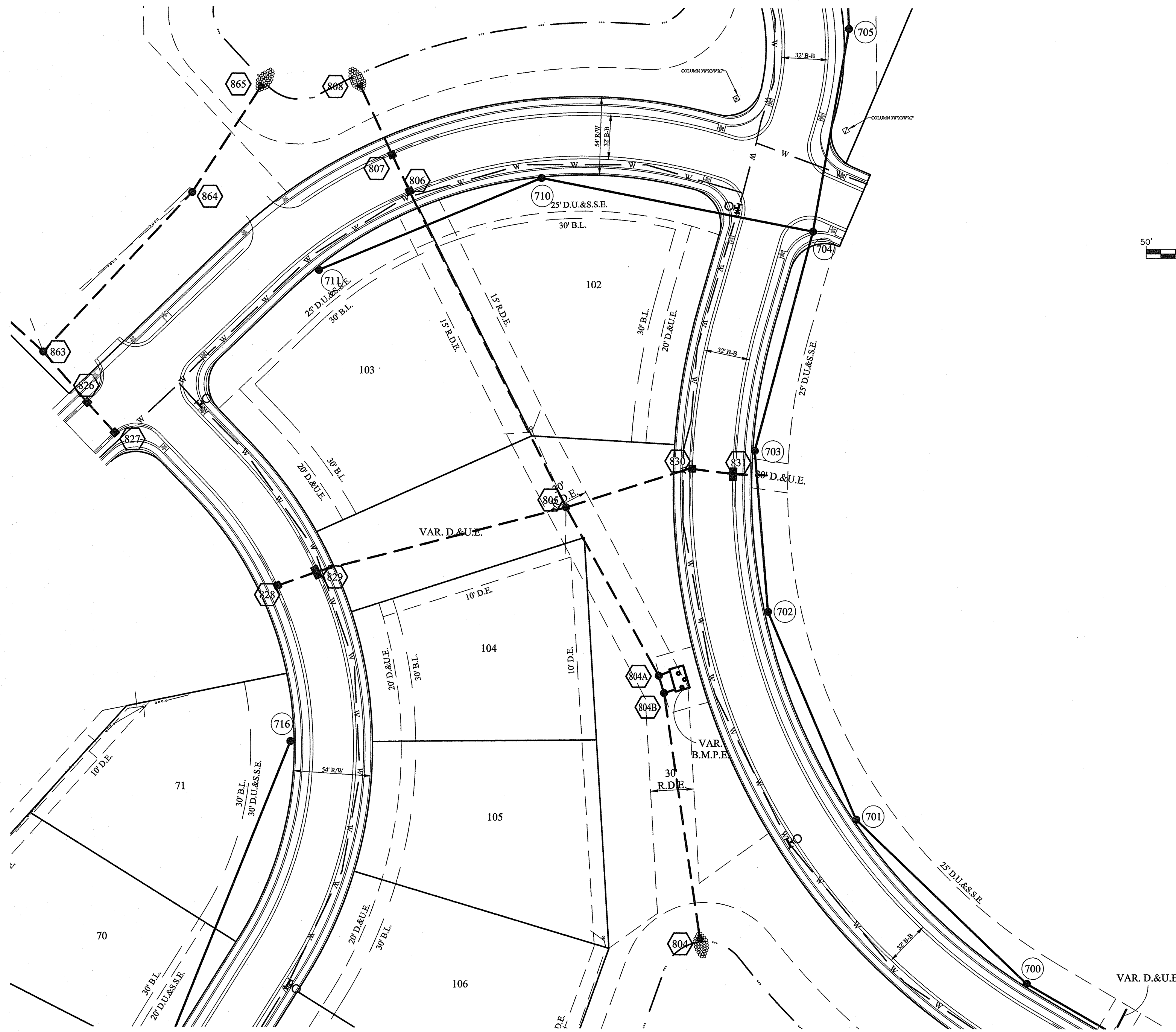
811
 Know what's below.
 Call before you dig.



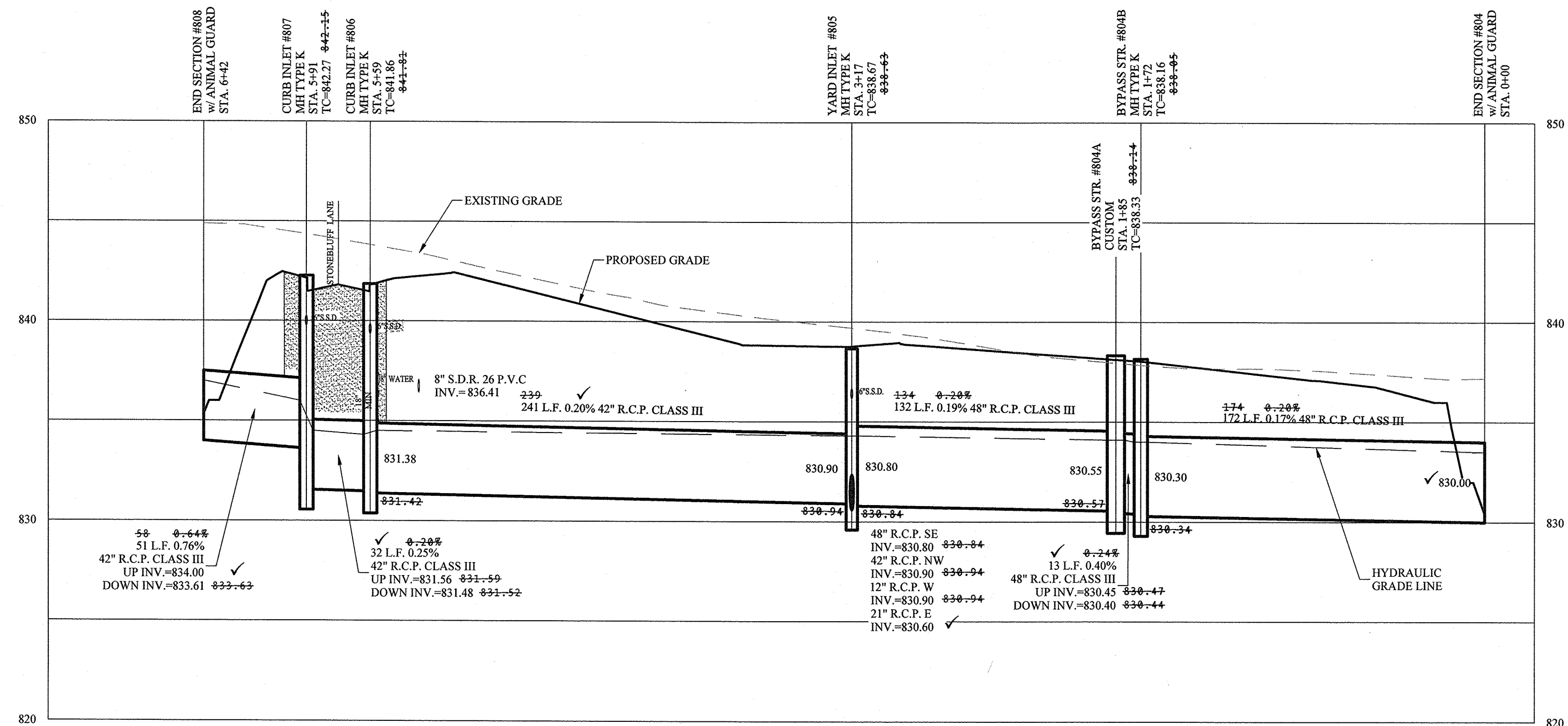
STORM SEWER PLAN & PROFILE
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 HAMILTON COUNTY, INDIANA
 NOBLESVILLE, WAYNE TOWNSHIP

DRAWN BY: JSW CHECKED BY: BAH
 SHEET NO. C600
 S.E.A. 08/00/00 75744CAL-S2

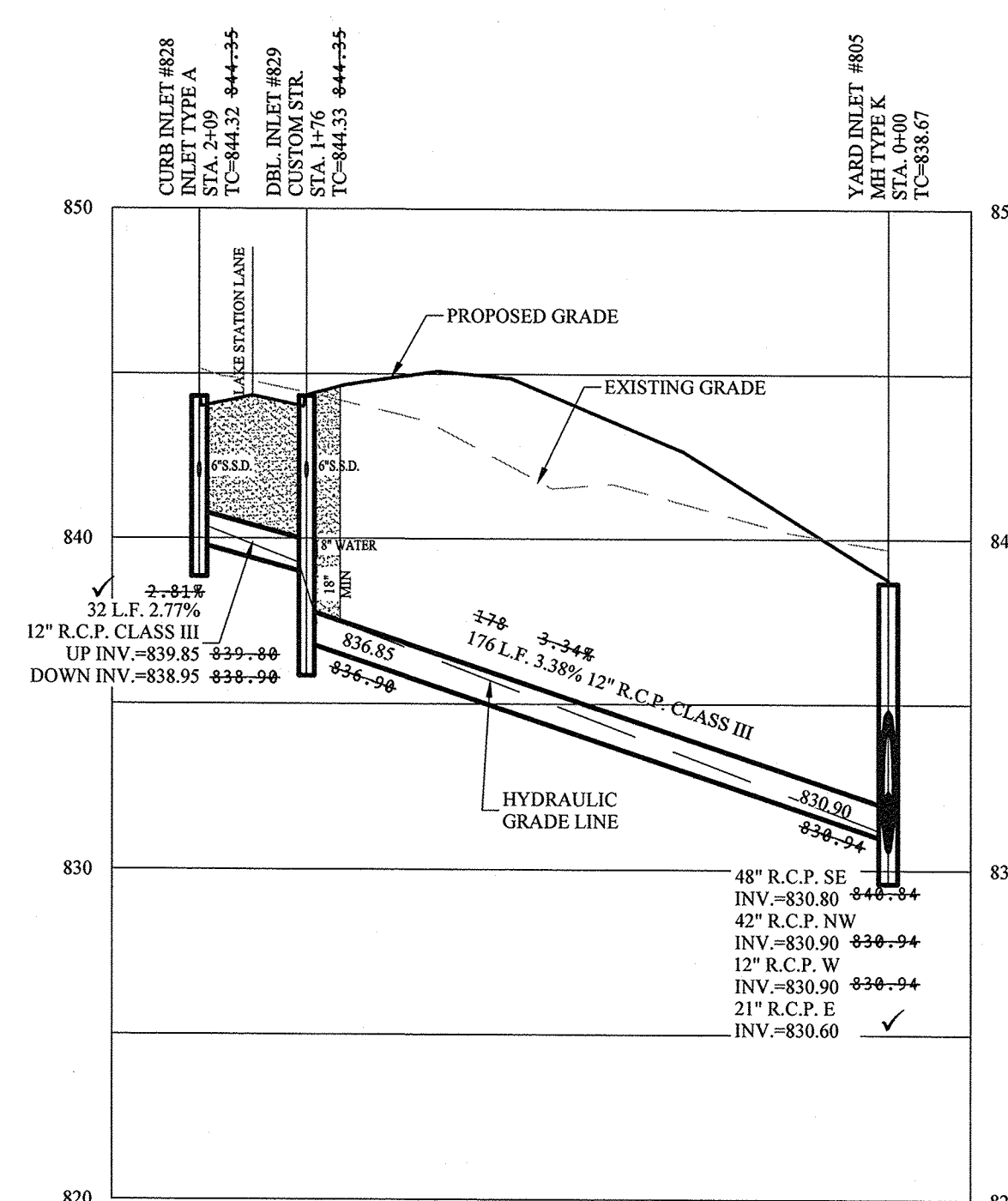
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 Plotted / By: November 15, 2017 6:51:27 PM / Jennifer Willis



SCALE: 1"=50' HOR.
 1"=5' VERT.

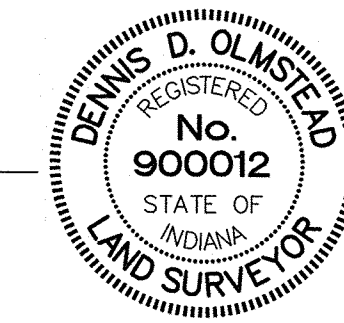


SCALE: 1"=50' HOR.
 1"=5' VERT.



RECORD DRAWING

D.D.O.
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/17/2017

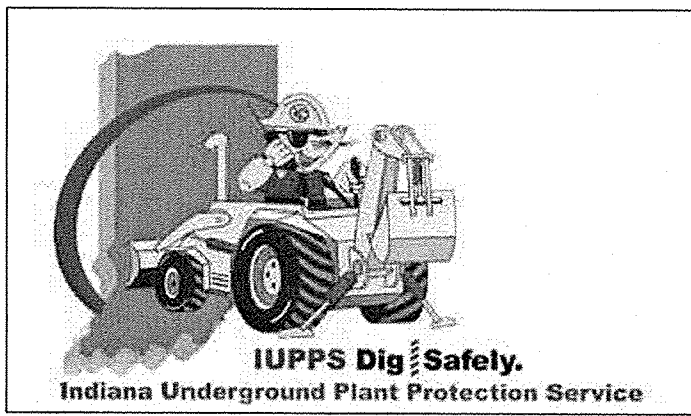


- LEGEND**
- S — EXISTING SANITARY SEWER
 - S — EXISTING STORM SEWER
 - S — PROPOSED SANITARY SEWER
 - S — PROPOSED STORM SEWER
 - W — PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

- NOTES:**
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 4 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
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 - NO ORGANIC MATERIAL TO BE USED AT STORM SEWER STUBS.

NOTE:
 ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.

811
 Know what's below.
 Call before you dig.



NO. 19358	DAVID D. STOEPPELWERTH	REGISTERED PROFESSIONAL ENGINEER
06/17/17	REVISER PER TAC COMMENTS	BY
03/13/17	REVISER PER TAC COMMENTS	BY
12/28/16	REVISER PER TAC COMMENTS	BY
DATE	MARK	REVISIONS

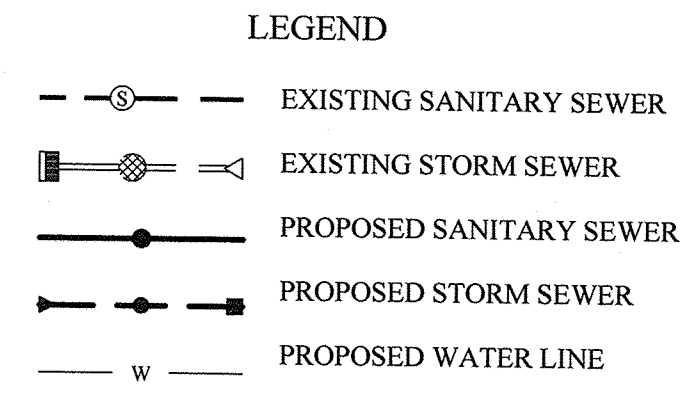
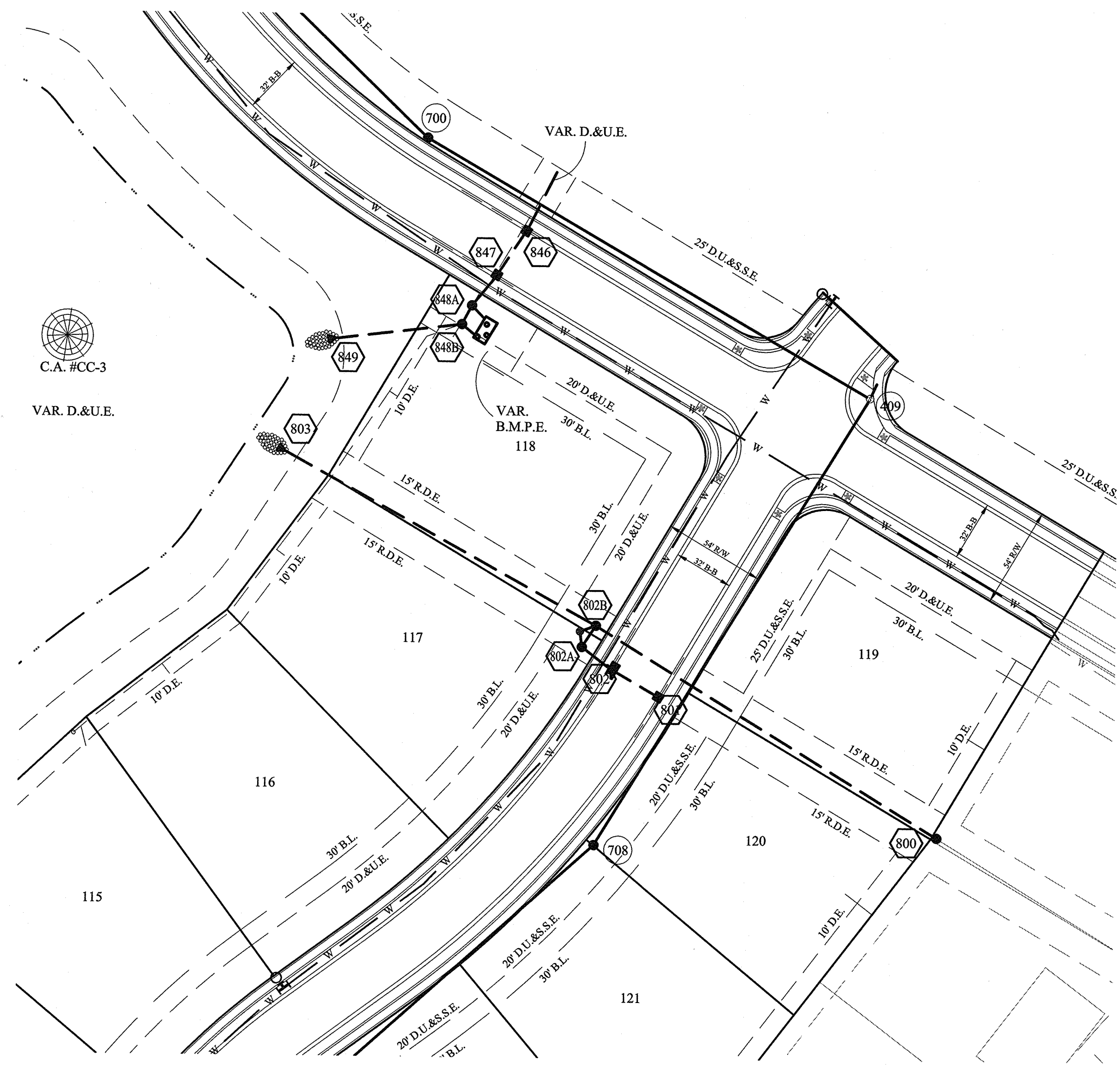
THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETACEMENT OR SURVEY FOR A SURVEYOR LOCATION REPORT.

CERTIFIED: 11/16/16
David D. Stoepfelwerth

STOEPPELWERTH
 ALWAYS ON
 7945 East 10th Street, Fishers, IN 46038-2505
 phone: 317.849.5925 fax: 317.849.5942

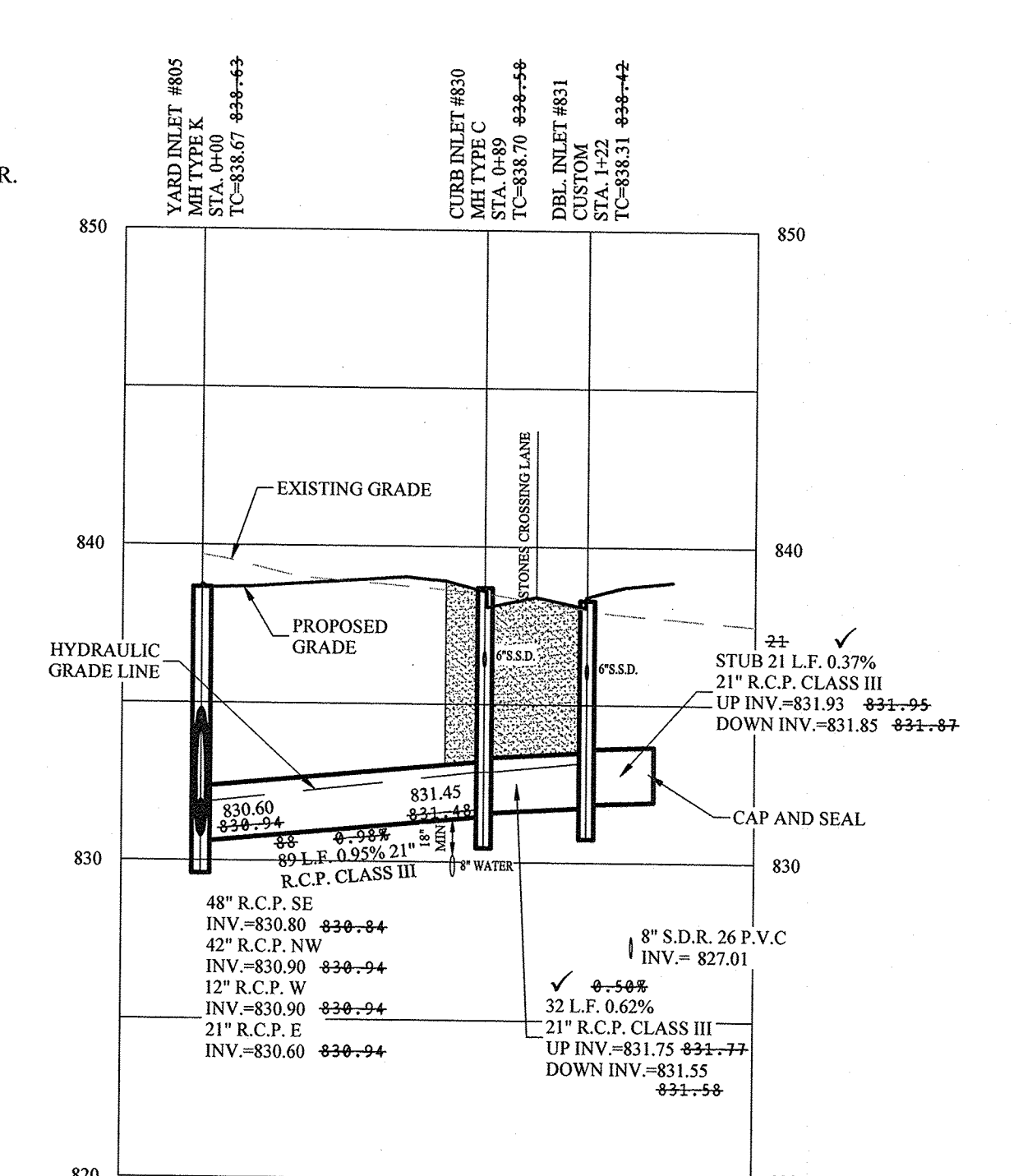
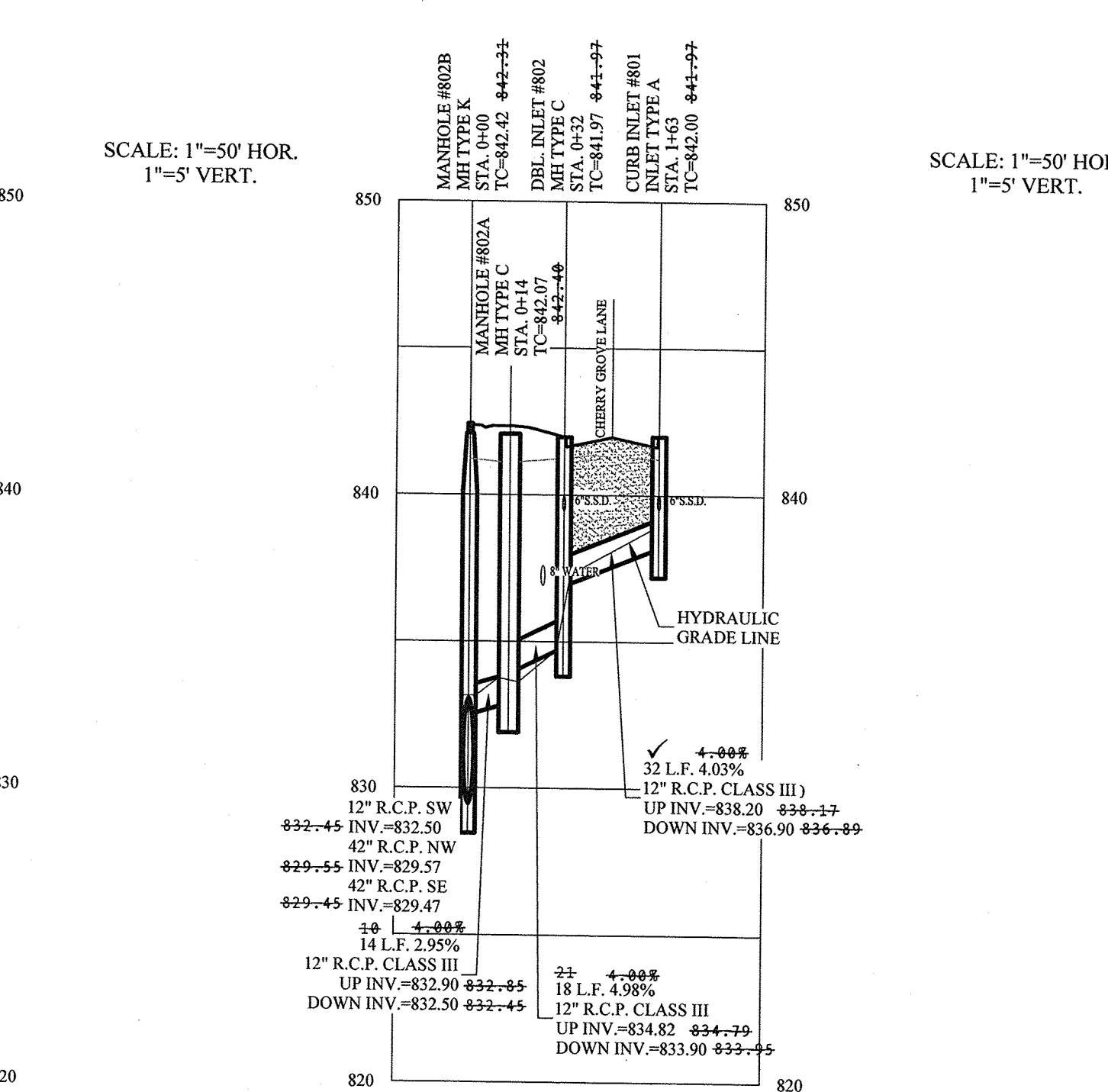
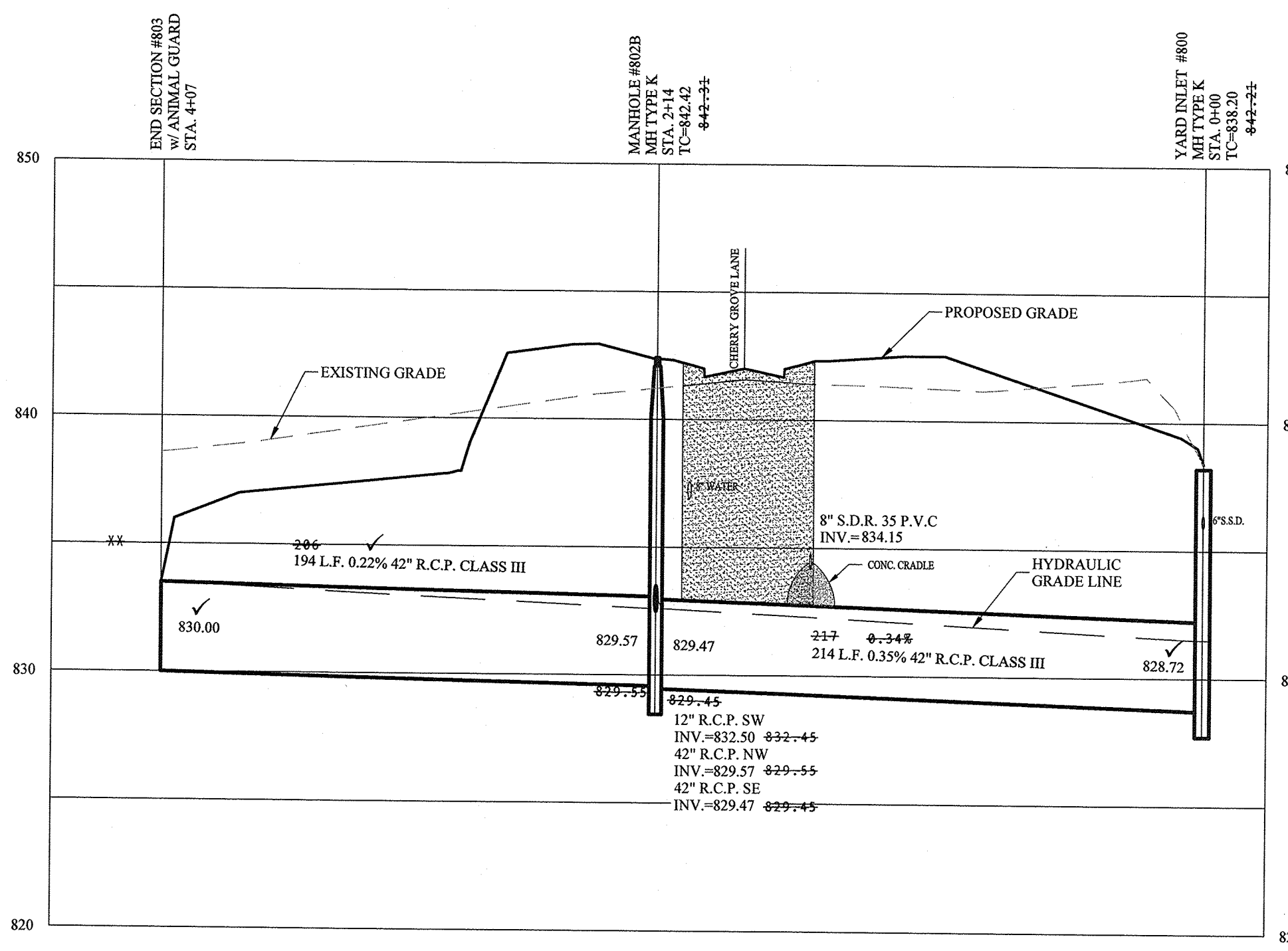
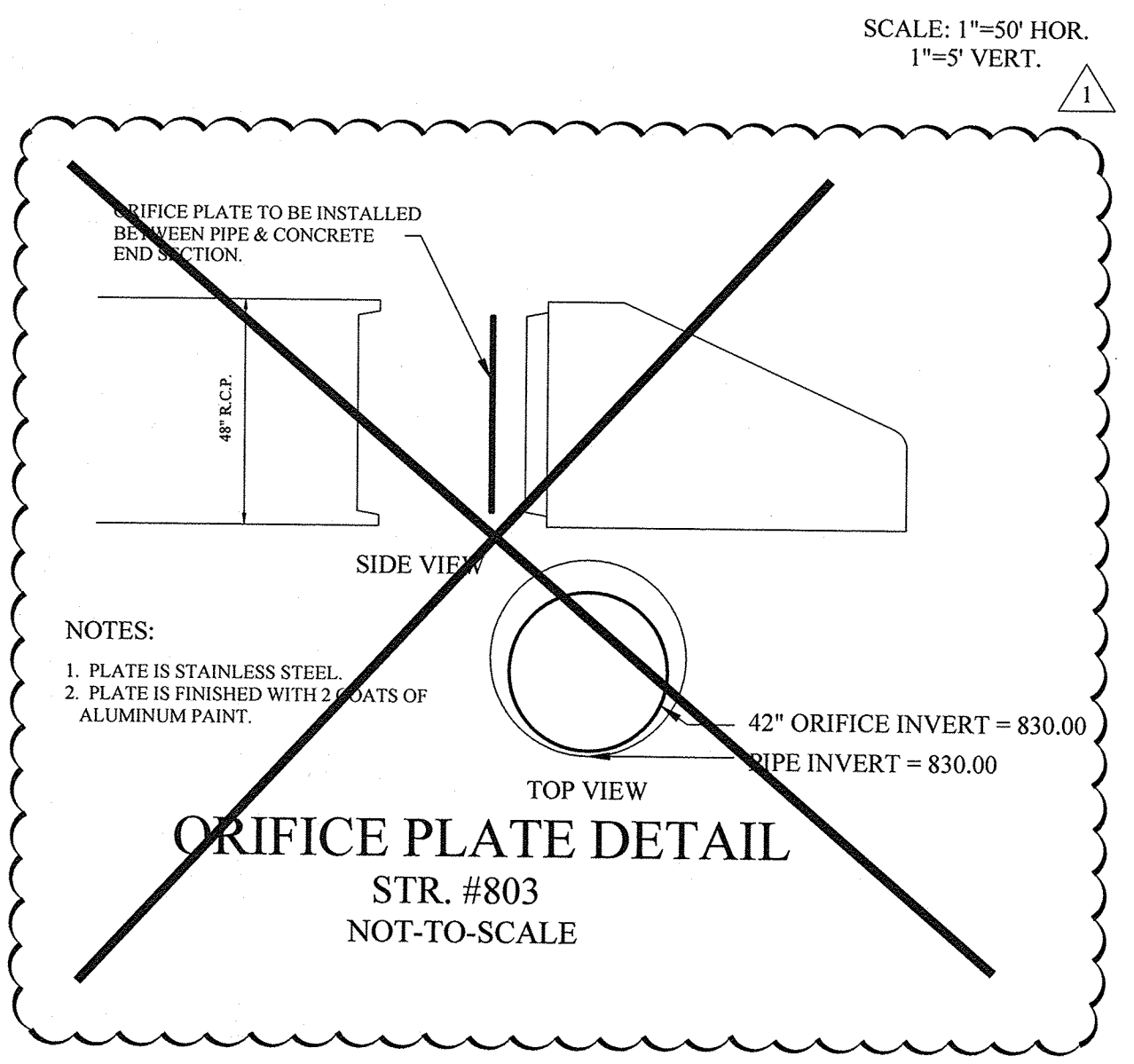
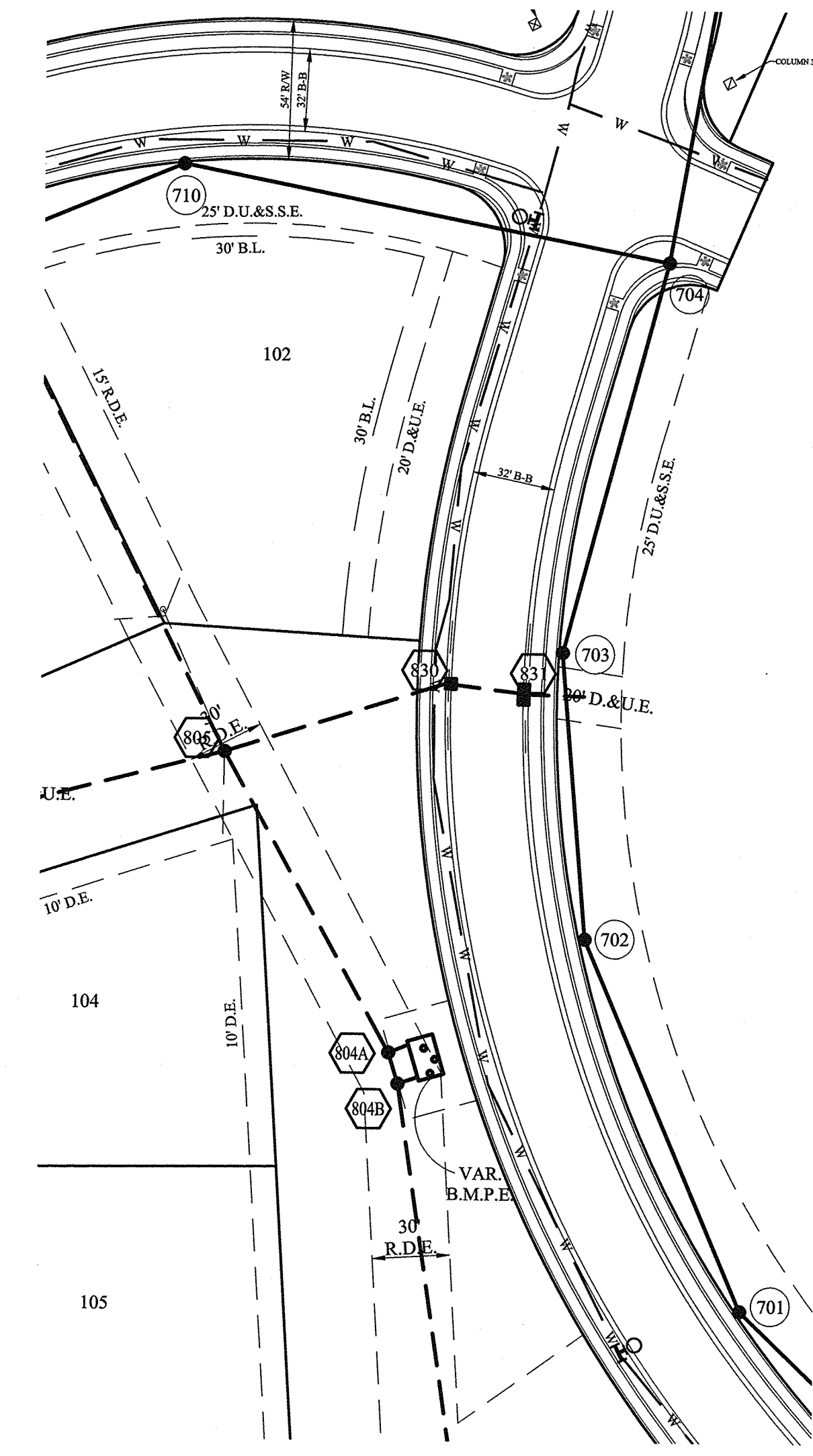
STORM SEWER PLAN & PROFILE
CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: JSW
 CHECKED BY: BAH
 SHEET NO.
C601
 S & A JOB NO.
 75744CAL-S2



- NOTES:
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 4 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
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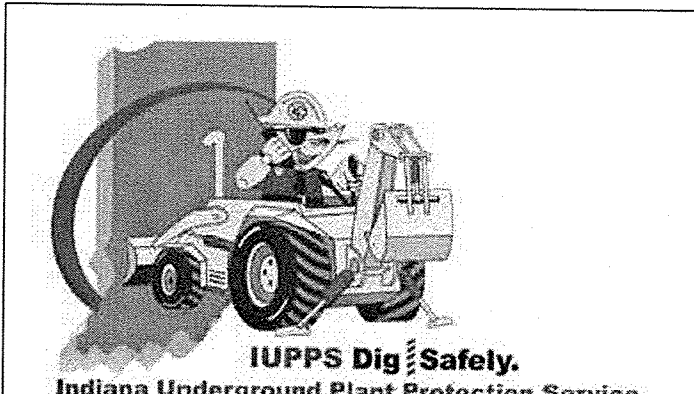


RECORD DRAWING

Dennis D. Olmstead
Registered Land Surveyor
No. 900012



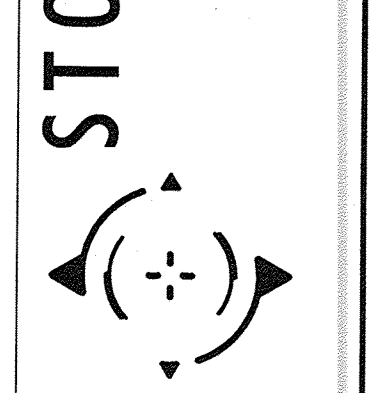
811
Know what's below.
Call before you dig.



NO.	DATE	BY	REVISIONS
1	12/8/16	BAH	REVISED PER TAC COMMENTS
2	03/13/17	BAH	REVISED PER TAC COMMENTS
3	06/06/17	BAH	REVISED PER SEA REVIEW
4	02/17/17	KJM	REVISED PER SHOP DRAWING REVIEW

REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA
David J. Stoppelwerth

STOEPPELWERTH
ALWAYS ON
7965 East 10th Street, Fishers, IN 46038-2905
phone: 317.849.5955 fax: 317.849.5942

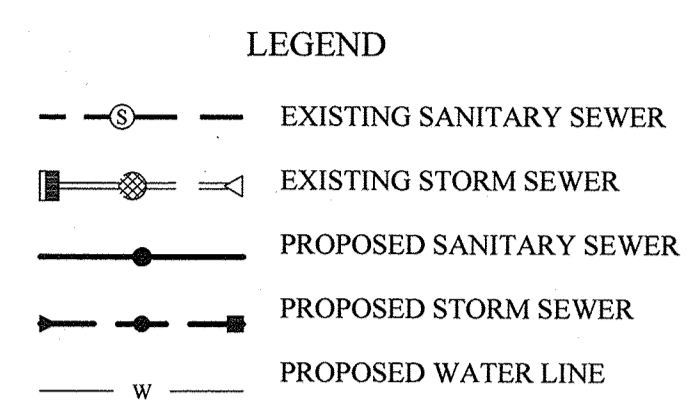
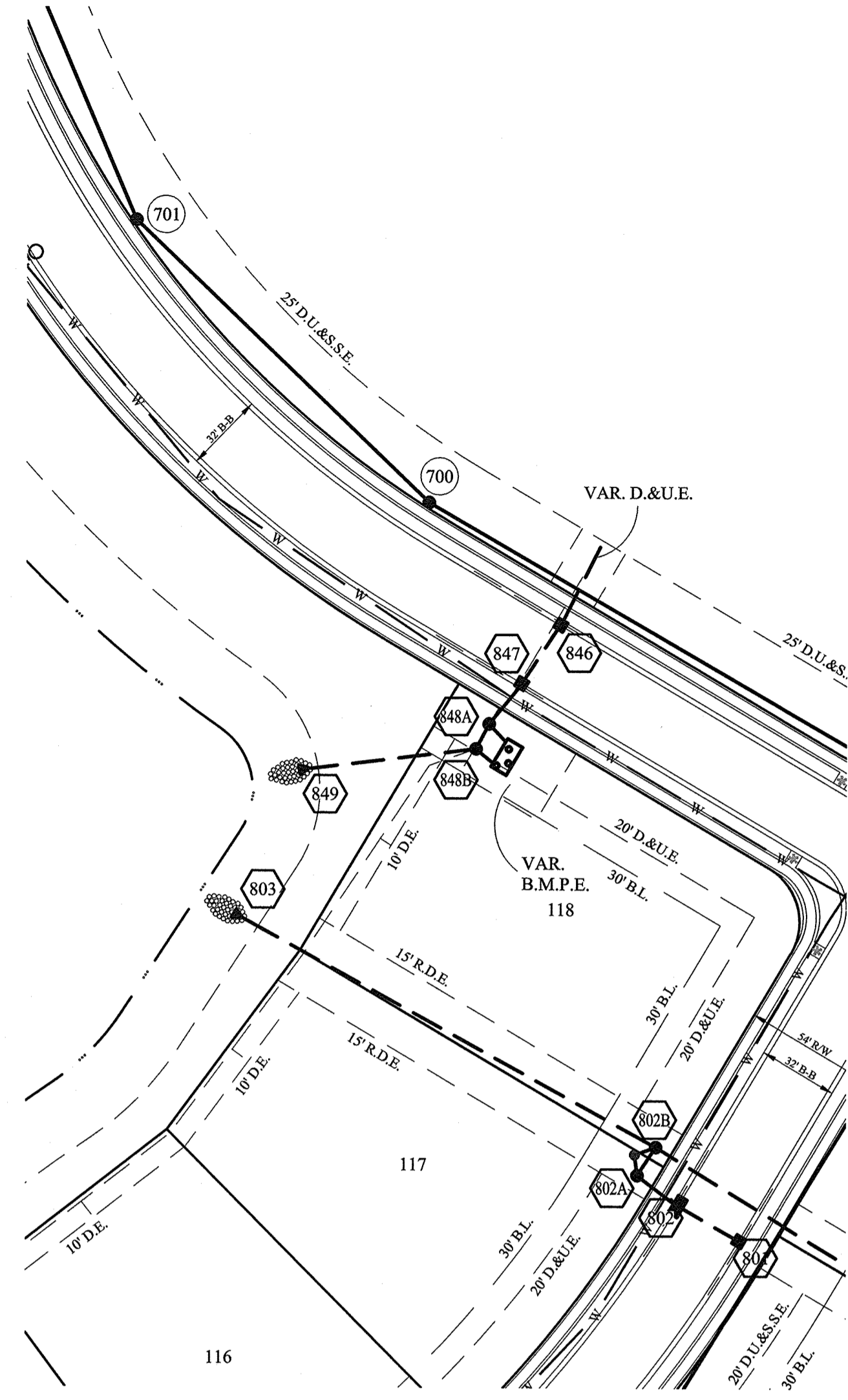


STORM SEWER PLAN & PROFILE
CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
SECTION TWO
NOBLESVILLE, WAYNE TOWNSHIP, HAMILTON COUNTY, INDIANA

DRAWN BY: JSW CHECKED BY: BAH
SHEET NO. **C602**
5 & A JOB NO. 75744CAL-52

File Name: S:\75744CAL-52\DWG\C602 Storm Sewer Plan & Profiles.dwg - C602
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November 15, 2017 6:51:56 PM / Jennifer Willis
Modified / By:
Plotted / By:

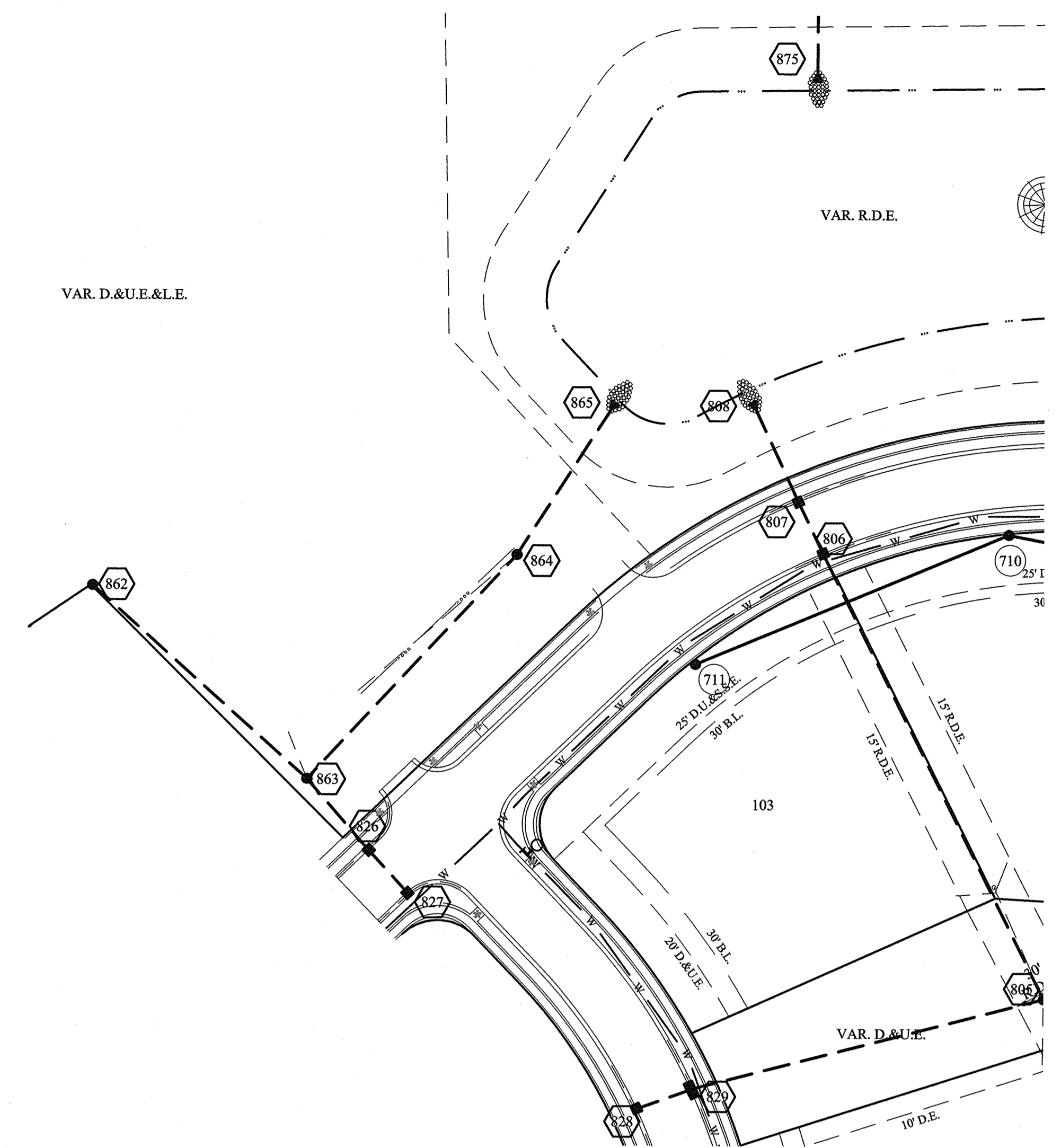
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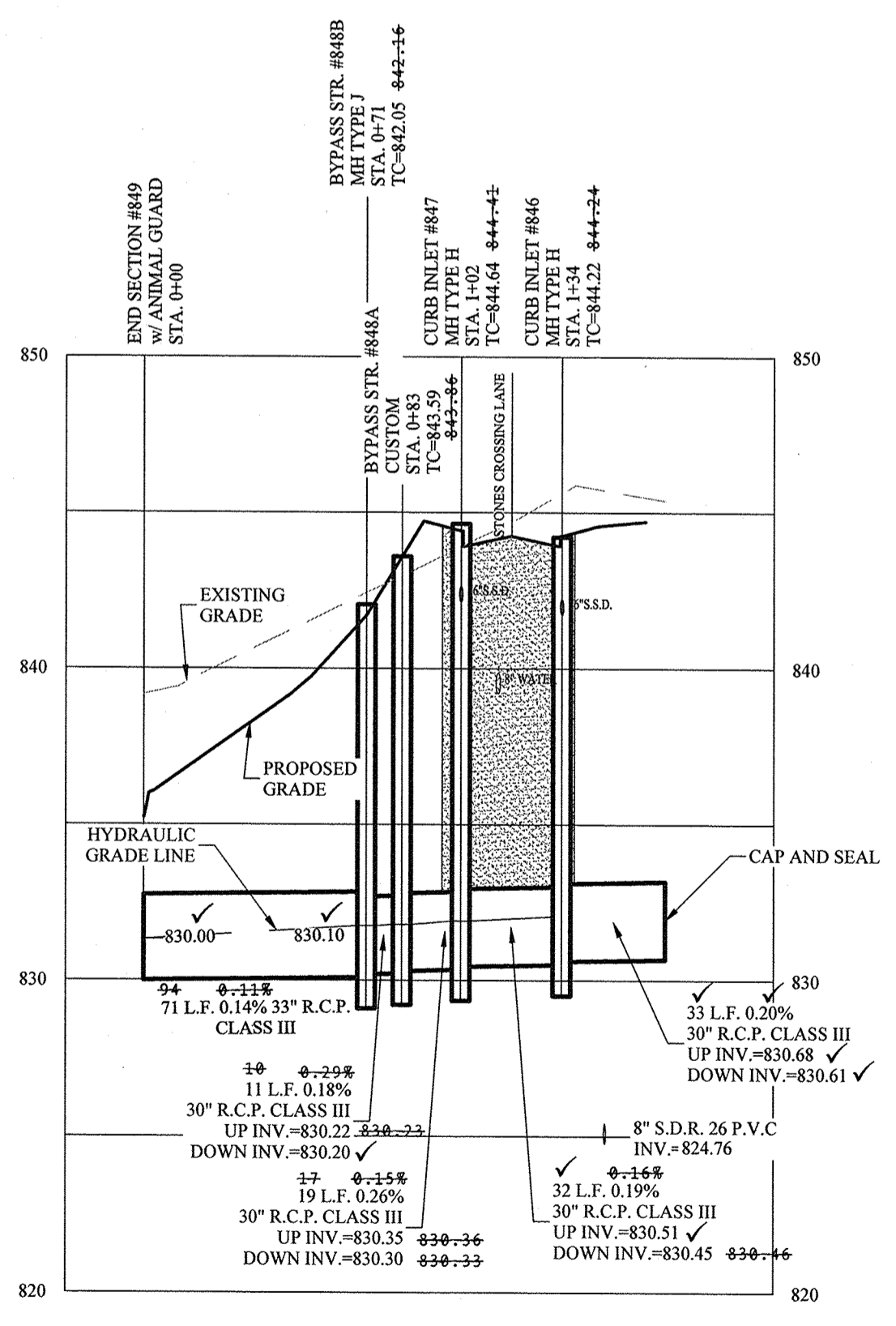
DENOTES FULL DEPTH GRANULAR BACKFILL

- NOTES:**
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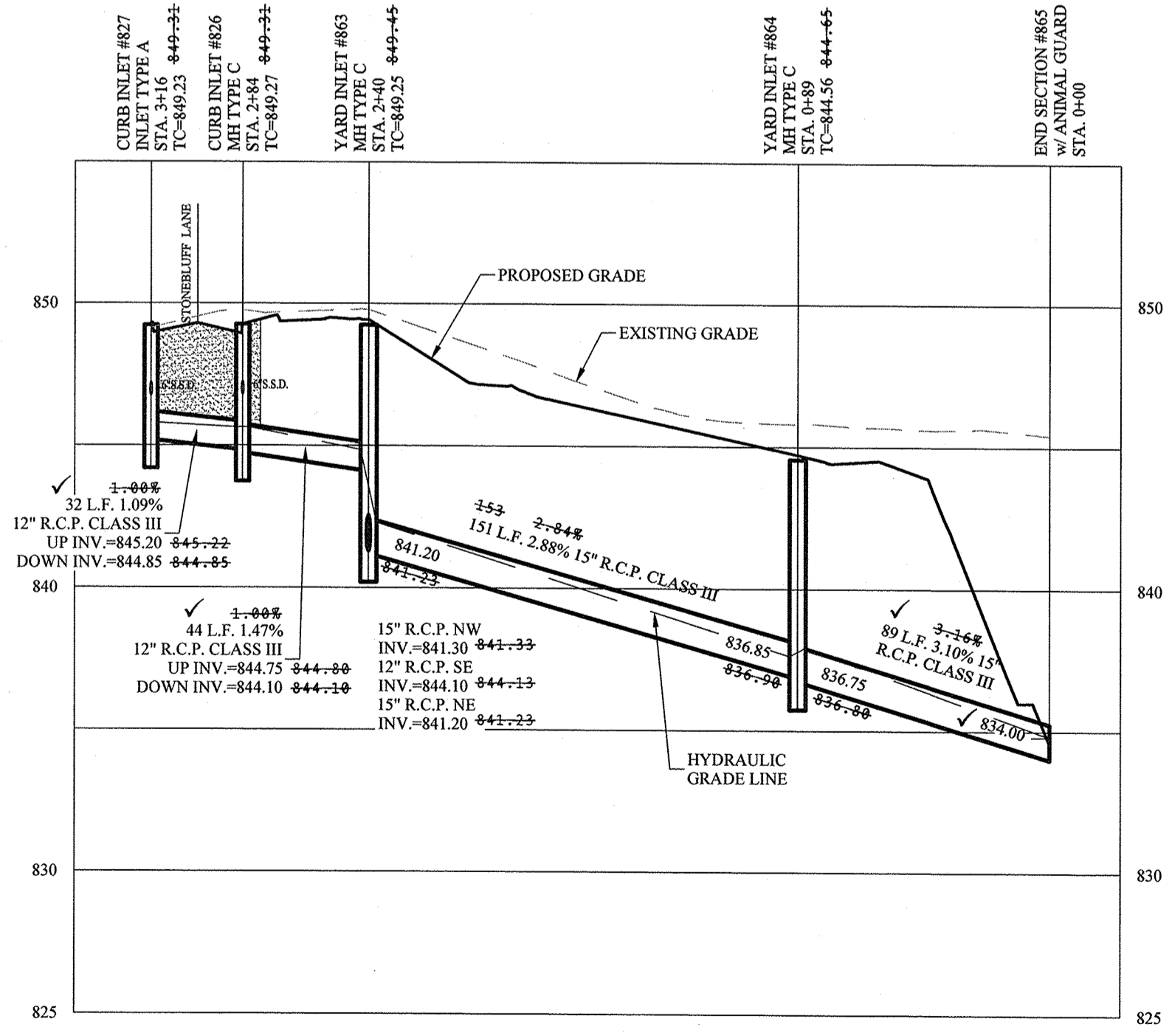
NOTE:
 ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.



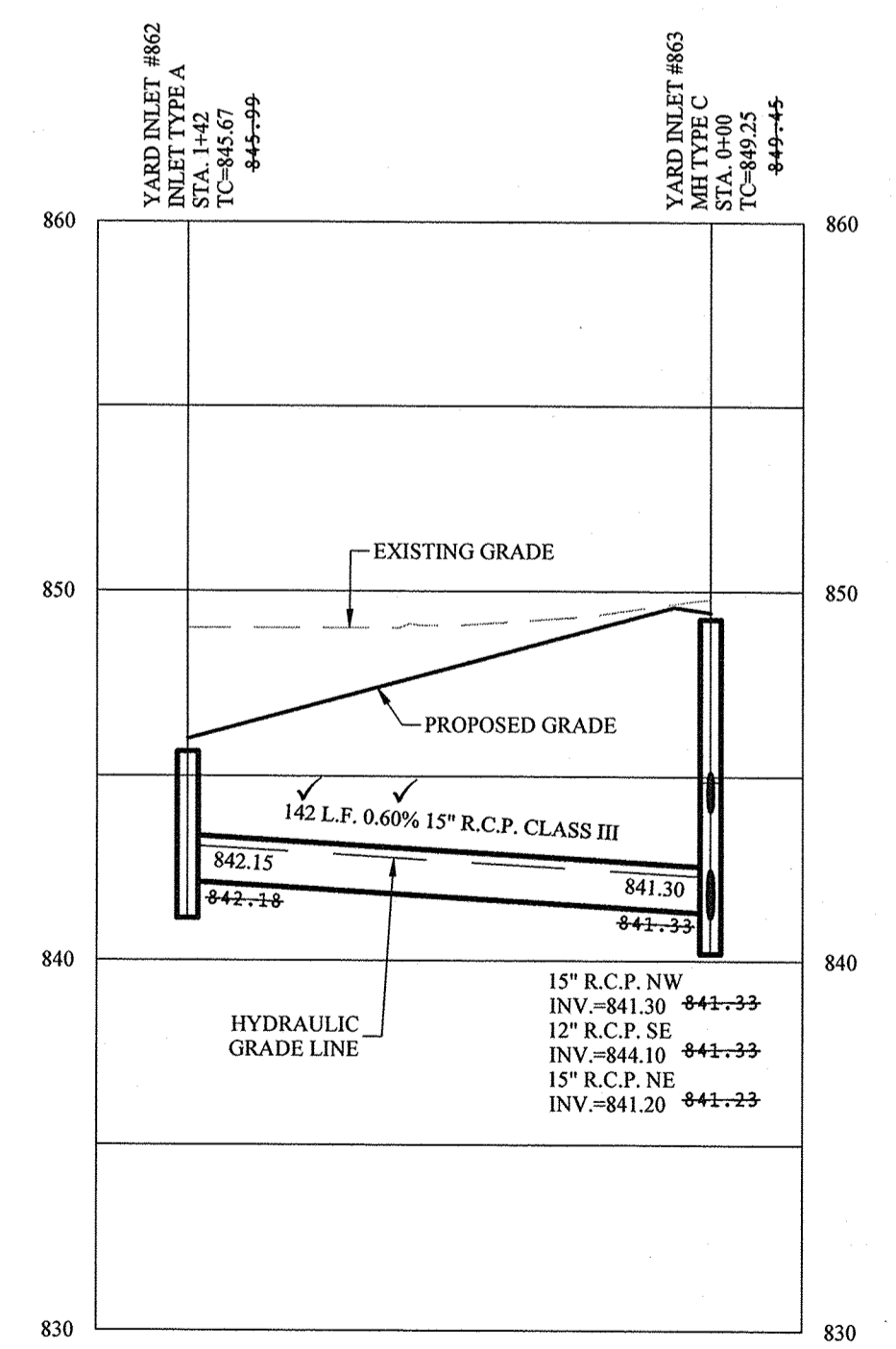
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 1"=5' VERT.



SCALE: 1"=50' HOR.
 1"=5' VERT.

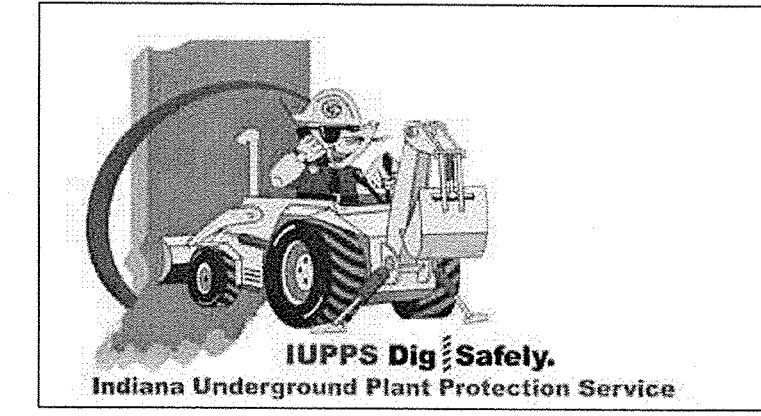


SCALE: 1"=50' HOR.
 1"=5' VERT.



RECORD DRAWING

Dennis D. Olmstead
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012



STOEPPELWERTH
 ALWAYS ON
 796 East 10th Street, Fishers, IN 46038-2905
 phone: 317.849.5995 fax: 317.849.5942

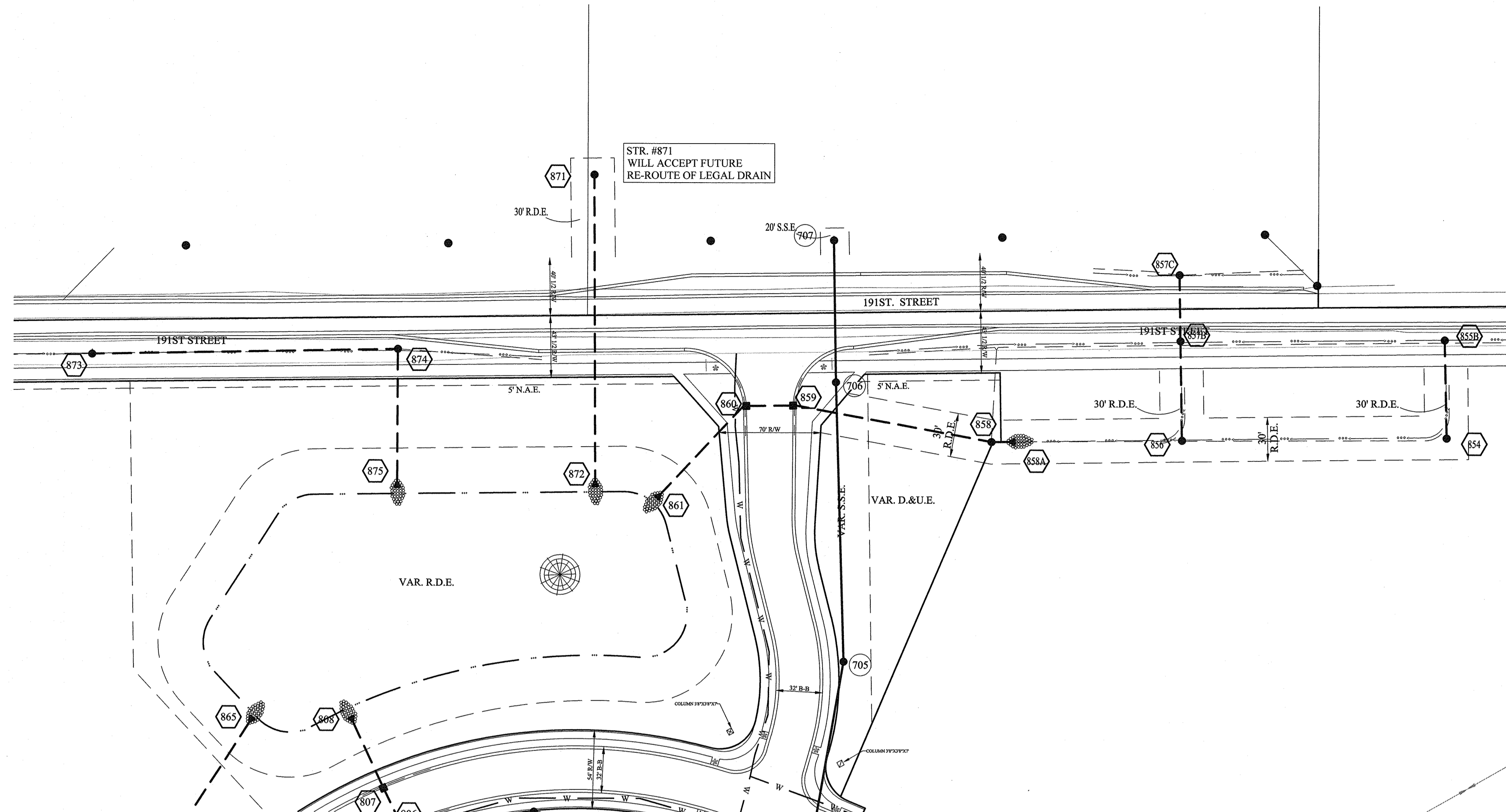
REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 CERTIFIED: 11/16/16
David J. Stappeler

STORM SEWER PLAN & PROFILE
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP
 HAMILTON COUNTY, INDIANA

DATE	MARK	REVISIONS
12/28/16		REVISED PER TAC COMMENTS
03/13/17		REVISED PER TAC COMMENTS
11/15/17		AS BUILTS
		AW
		FOR
		PREPARED BY

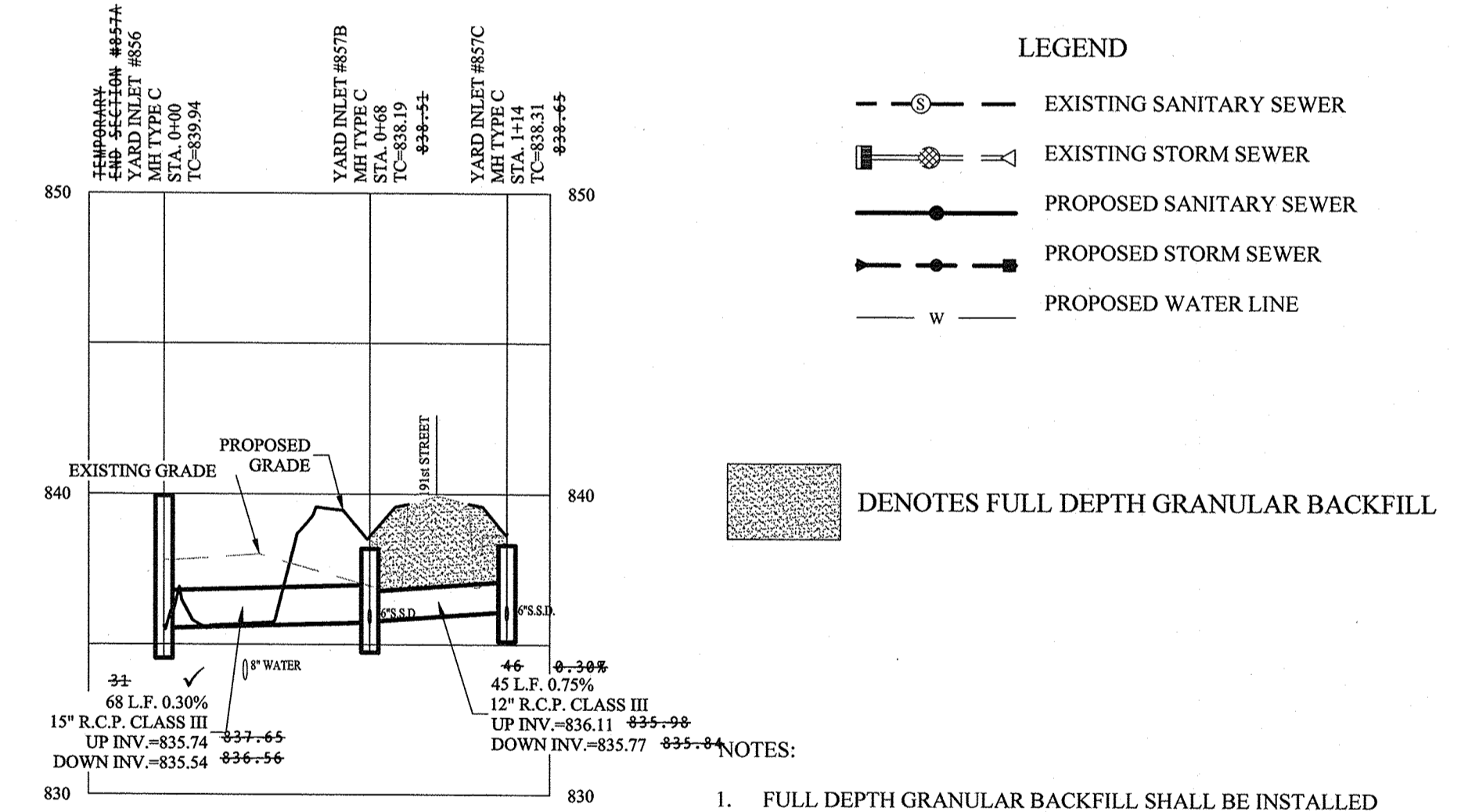
DRAWN BY: JSW CHECKED BY: BAH
 SHEET NO. **C603**
 S & A JOB NO. 75744CAL-S2

File Name: S:\175744\CAL-S2\DWG\C600 Storm Sewer Plan & Profiles.dwg - C604
 Modified / By: November 15, 2017 1:47:54 PM / Willis
 Plotted / By: November 15, 2017 6:53:02 PM / Jennifer Willis



SCALE: 1"=50' HOR.
1"=5' VERT.

SCALE: 1"=50' HOR.
1"=5' VERT.

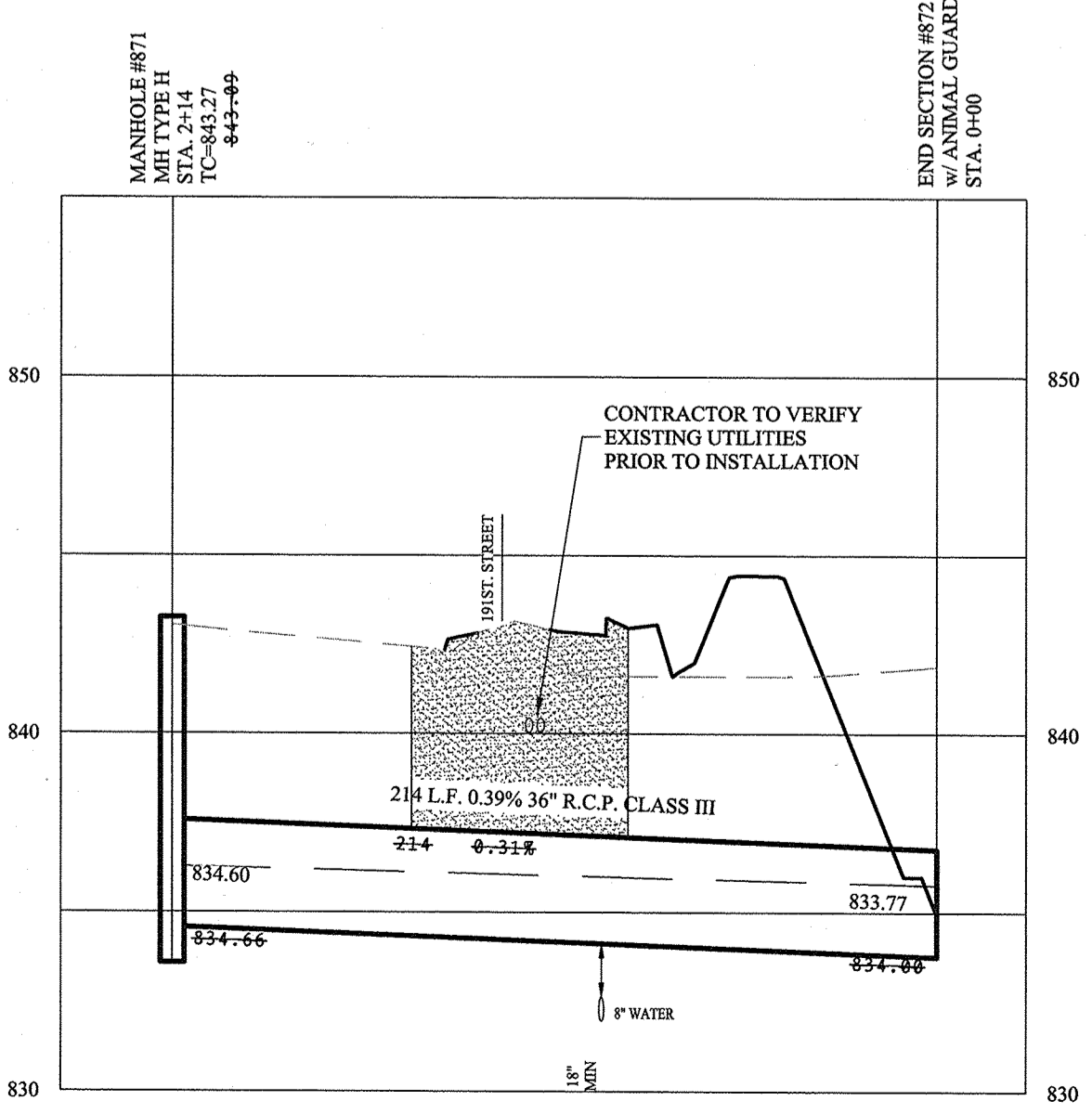


- LEGEND
- EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - W— PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 4 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - NO ORGANIC MATERIAL TO BE USED AT STORM SEWER STUBS.

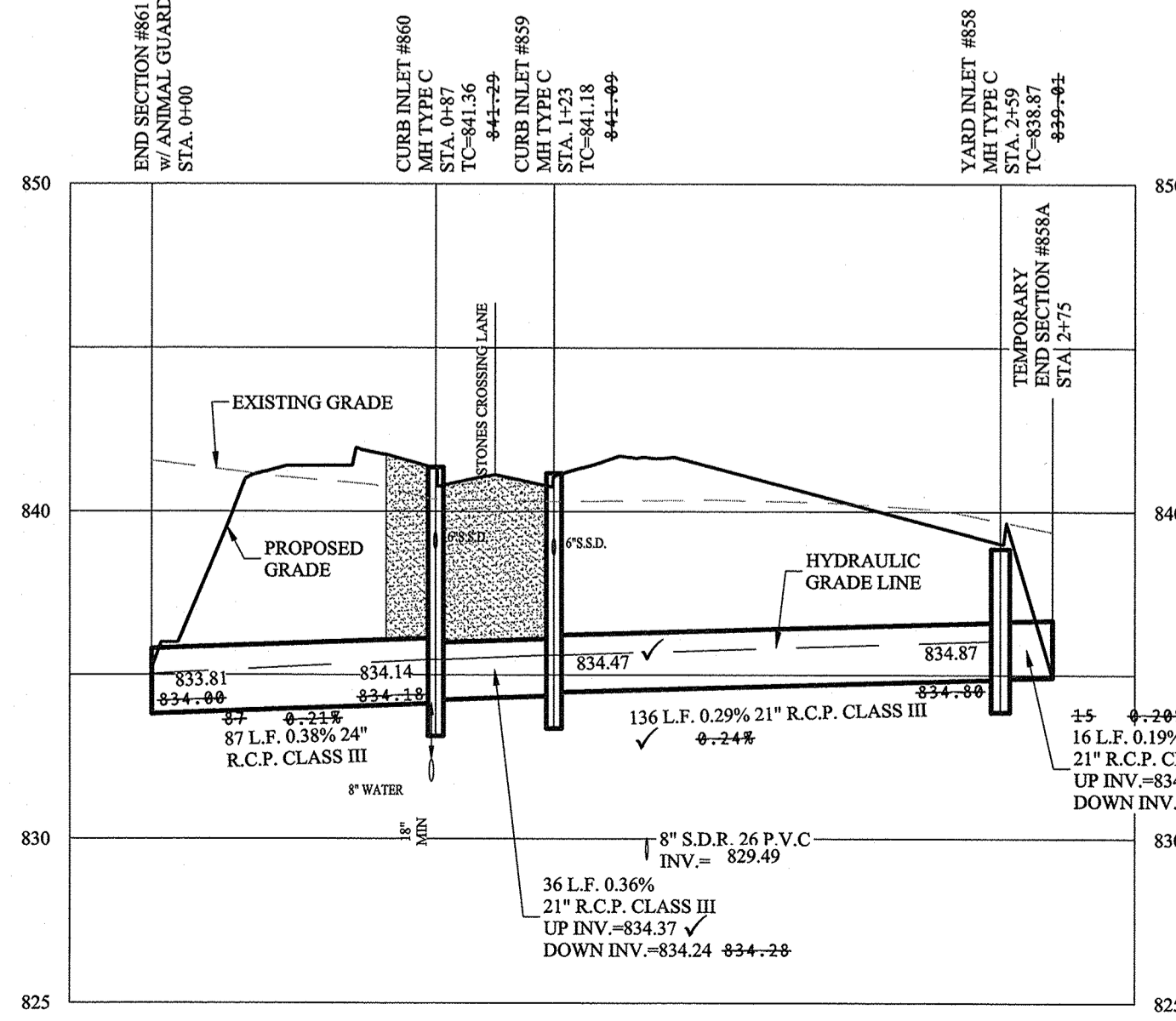
NOTE:
ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.

RECORD DRAWING

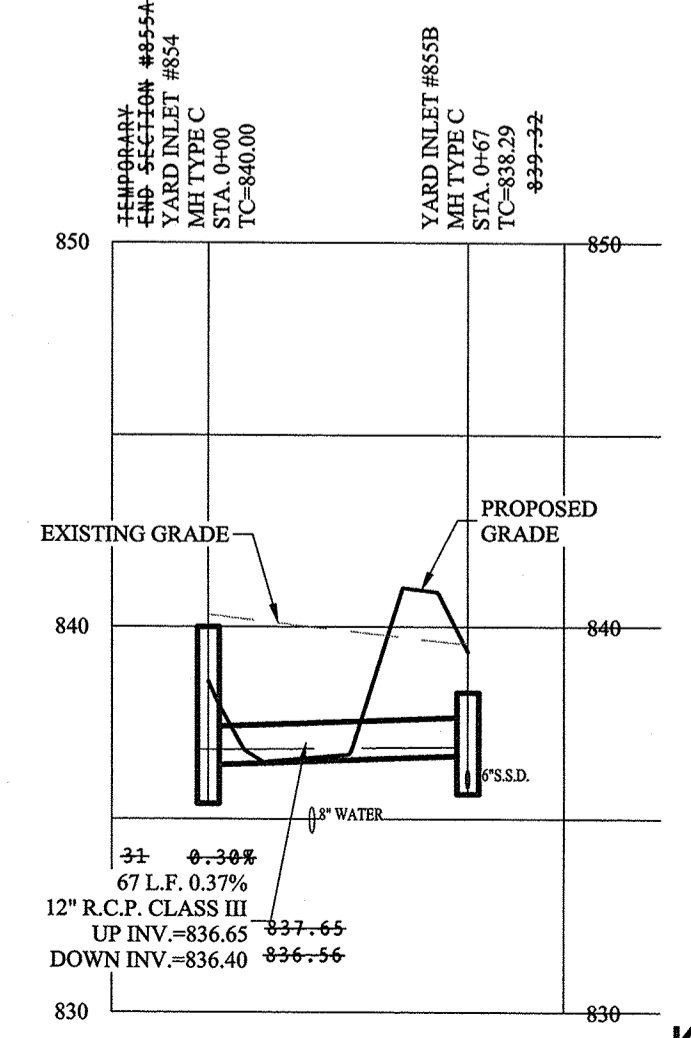
D.D.O.
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/17/2017



SCALE: 1"=50' HOR.
1"=5' VERT.



SCALE: 1"=50' HOR.
1"=5' VERT.



SCALE: 1"=50' HOR.
1"=5' VERT.

STOEPPELWERTH
 ALWAYS ON
 7945 East 10th Street, Fishers, IN 46038-2535
 phone: 317.493.5925 fax: 317.493.5942

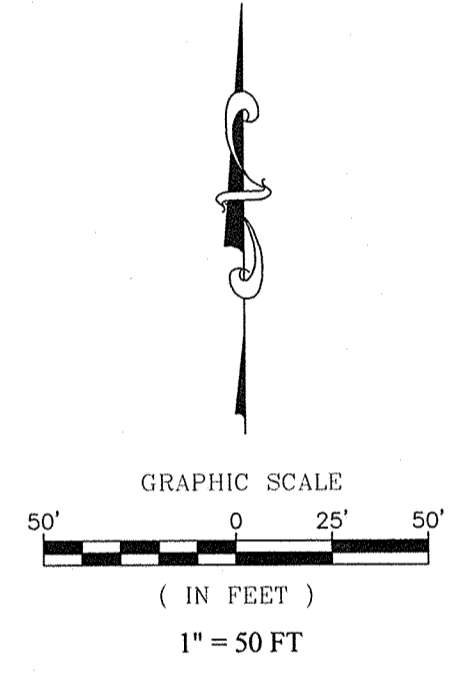
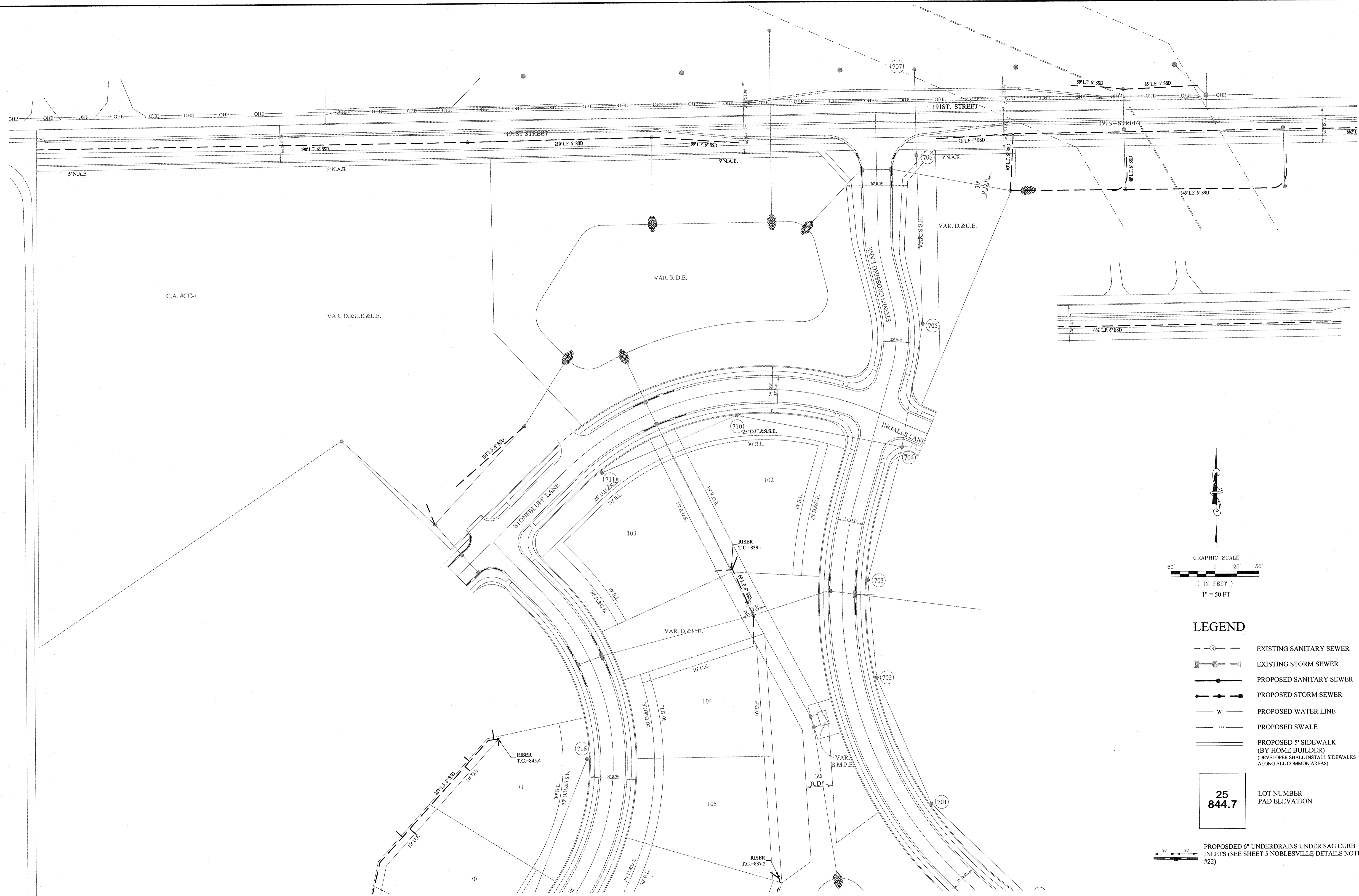
STORM SEWER PLAN & PROFILE
SECTION TWO
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 NOBLESVILLE, WAYNE TOWNSHIP
 HAMILTON COUNTY, INDIANA

DATE	REVISIONS
07/20/17	REVISED INVERT FOR STRUCTURE #73
04/29/17	REVISED PER WATER CHANGES
03/13/17	REVISED PER TAC COMMENTS
12/28/16	REVISED PER TAC COMMENTS

THIS DRAWING IS NOT INTENDED TO BE AN ORIGINAL BOUNDARY SURVEY A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.
 CERTIFIED: 11/16/16
David J. Stoepelwerth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

DRAWN BY: JSW CHECKED BY: BAH
 SHEET NO. **C604**
 S & A JOB NO. 75744CAL-S2

File Name: S:\15744CAL-S2\DWG\C606 Sub-Surface Drain Plan.dwg - C606
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 Modified / By: November 15, 2017 6:56:16 PM / Jennifer Willis
 Plotted / By:



LEGEND

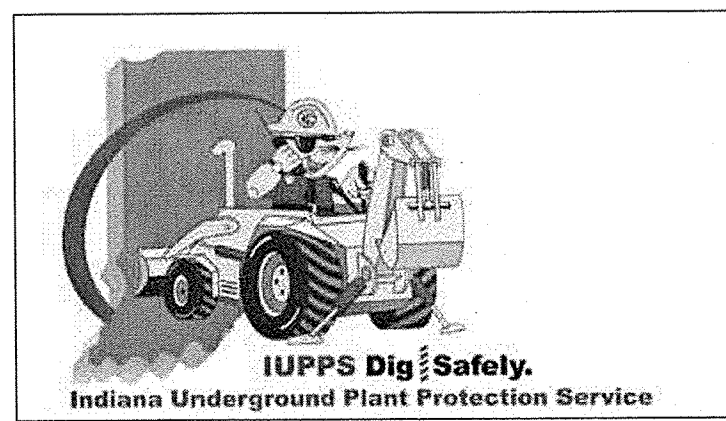
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

25
844.7 LOT NUMBER
 PAD ELEVATION

PROPOSED 6" UNDERDRAINS UNDER SAG CURB INLETS (SEE SHEET 5 NOBLESVILLE DETAILS NOTE #22)

RECORD DRAWING

Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012
 11/16/2017



DATE	MARK	REVISIONS
11/15/17	AS BUILTS	
03/13/17	REVISED PER TAC COMMENTS	
12/28/16	REVISED PER TAC COMMENTS	

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.
 CERTIFIED: 11/16/16

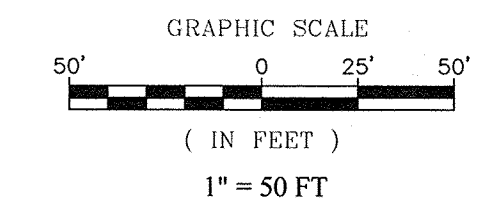
 David J. Stoppelwirth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

STOEPPELWERTH
 ALWAYS ON
 7045 East 106th Street, Fishers, IN 46038-2605
 phone 317.849.5925 fax 317.849.5942

SUB-SURFACE DRAIN PLAN
 CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE
 SECTION TWO
 NOBLESVILLE, WAYNE TOWNSHIP, HAMILTON COUNTY, INDIANA

DRAWN BY: JSW CHECKED BY: BAH
 SHEET NO. **C606**
 S & A JOB NO. 75744CAL-S2

File Name: S:\175744\CAL-S2\DWG\C606 Sub-Surface Drain Plan.dwg - C607
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 Plotted / By: November 15, 2017 6:56:28 PM / Jennifer Willis



LEGEND

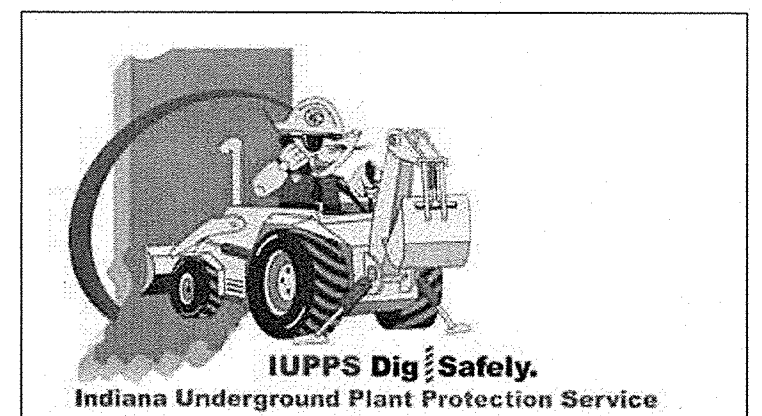
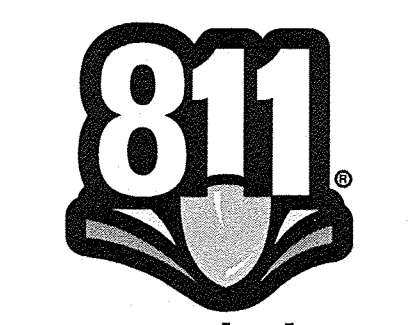
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

25
844.7
 LOT NUMBER
 PAD ELEVATION

PROPOSED 6" UNDERDRAINS UNDER SAG CURB INLETS (SEE SHEET 5 NOBLESVILLE DETAILS NOTE #22)

RECORD DRAWING

Dennis D. Olmstead
 Dennis D. Olmstead
 Registered Land Surveyor
 No. 900012



THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY. A ROUTE REPORT OR A SURVEYOR LOCATION REPORT. CERTIFIED: 11/16/16 <i>David J. Stoppelwerth</i>	
AS BUILTS 11/15/17 REVISIONS PER IAC COMMENTS	DATE MARK
STOEPPELWERTH ALWAYS ON 7945 East 106th Street, Fishers, IN 46038-2505 phone: 317.846.5985 fax: 317.846.5942	
SUB-SURFACE DRAIN PLAN CONNER CROSSING OF NOBLESVILLE COTTAGE GROVE SECTION TWO NOBLESVILLE, WAYNE TOWNSHIP - HAMILTON COUNTY, INDIANA	
DRAWN BY: JSW	CHECKED BY: BAH
SHEET NO. C607	
S.E.A. 30830 75744CAL-S2	